

Detective Summary of Cases

CASE DESCRIPTION	Previous Month 2020	NEW CASES November 2020	Monthly CLOSED CASES	TOTAL
Accident, Hit & Run	0			0
Arson	1			1
Assault	1			1
Assist Other Agency	0			0
Burglaries	36		(5)	36
Criminal Mischief / Vandalism	5			5
Child & Family Offense (Abuse)	2			2
Death Investigation	3			3
Drug Offense	0			0
Harassment by Communication	0			0
Fraud (Forgery, Id Theft, etc.)	20			20
Receiving Stolen Property	1			1
Robbery	8			8
Suspicious Activity	0			0
Theft	43	1	(6)	44
Trespass	0			0
Miscellaneous	3			3
Threat to Official	1			1
Sex Offense				
Adult	0			0
Juvenile	1		1	1
TOTAL OPEN CASES	125	1	1	126
New Cases Assigned	1	MTH		
Closed Cases*	63	YTD		
Warrants Served	0	MTH		
Surveillance Hours Conducted**	2	MTH		

*cold cases are marked in ()



MOUNT JOY POLICE DEPARTMENT

Calls for Service

November 2020

Code	Call for Service	Totals
0619	THEFT ALL OTHERS	6
0800	SIMPLE ASSAULT	2
1130	FRAUD ALL OTHERS	1
1440	CRIMINAL MISCHIEF ALL	4
1810	DRUG POSSESSION OFFENSE	2
1845	DRUG PARAPHERNALIA	1
2040	FAMILY OFFENSES - DOMESTIC	7
2111	DUI-ALCOHOL/UNDER INFL	1
2210	LIQUOR LAWS VIOLATIONS	1
2310	PUBLIC INTOXICATION / DRUNKENESS	2
2450	NOISE COMPLAINT	3
2619	PFA/ICC VIOLATION	2
2640	MUN ORD VIOLATIONS	2
2654	DISTURBANCE	10
2657	HARASSMENT	3
2660	TRESPASSING	5
4012	GAS LEAKS/EXPLOSIONS GENERAL POLICE	4
4014	OPEN DOORS/WINDOWS GENERAL POLICE	1
4018	STREET LIGHTS-OUT/REPAIRS	5
4021	SUSPICIOUS ACTIVITY	10
4026	DOWN-WIRES / POLES / TREES / LIMBS	1



MOUNT JOY POLICE DEPARTMENT

Calls for Service

November 2020

Code	Call for Service	Totals
4028	OTHER NON-CRIMINAL INV GENERAL POLICE	1
4052	ALARM BURGLARY OR HOLDUP NON RESIDENCE	9
4100	ALARMS (FIRE ALARMS)	2
4101	FIRES (ALL WORKING FIRES)	1
4102	ALARM - CARBON MONOXIDE ALARM	1
5004	FOUND ARTICLES	8
5010	MISSING PERSON	1
5510	ANIMAL COMPLAINTS ALL	11
6008	REPORTABLE MV CRASH NO INJURIES	5
6015	REPORTABLE MV CRASH HIT & RUN	3
6016	NON REPORTABLE MV CRASH	1
6303	TRAFFIC OFFENSE ALL OTHER	6
6305	SELECTIVE ENFORCEMENT TRAFFIC	10
6308	TRAFFIC MV COMPLAINT	3
6310	TRAFFIC ENFORCE / STOP	38
6335	TRAFFIC HAZARD	2
6336	DISABLED MV	1
6510	PARKING ENFORCEMENT	1
6511	PARKING VIOLATION COMPLAINT	10
6602	ABANDONED IMPOUND/TOWAWAY	3
6608	ESCORTS	3
6615	TRAFFIC COUNTER DEPLOYMENT / RADAR SIGN	1



MOUNT JOY POLICE DEPARTMENT

Calls for Service

November 2020

Code	Call for Service	Totals
7002	BUILDING CHECK	28
7008	MEDICAL ASSISTANCE	39
7014	OTH PUB SERV/WELFARE CHK	7
7015	ASSIST CITIZEN	10
7025	EMOTIONALLY DISTURBED PERSON (EDP)	4
7502	ASSISTING-FIRE DEPT	1
7504	ASSISTING-OTHER POLICE DP	21
7522	ASSISTING OTHER OFFICER	3
8010	WARRANTS-LOCAL	1
9002	ADMINISTRATIVE DUTIES	3
9003	COMMUNITY POLICING	1
9005	M.V. PURSUITS	2
9008	COURT	19
9020	POLICE INFORMATION	37
9021	TRAINING	15
9025	FIELD CONTACT INFORMATION	3
9028	FINGERPRINT	3
9030	SPECIAL DETAIL ASSIGNMENT	2
9034	REPOSSESSION	1
911	911 HANG UP / CHK WELFARE	1
9112	FOOT PATROL	17
9115	FOLLOW UP	60



MOUNT JOY POLICE DEPARTMENT

Calls for Service

November 2020

Code	Call for Service	Totals
9137	EVIDENCE DUTIES	4
9192	VEHICLE MAINTENANCE	7
9989	CALL BY PHONE	7
9999	NON-CAT DATA	7
Grand Total		497

Citation Output By Charge

Starting Issue Date 11/1/2020 to Ending Issue Date 11/30/2020

Charge	Total
4303 - GENERAL LIGHTING REQUIREMENTS	1
1371 - 1371 A - Veh Reg Suspended	1
1543 - 1543 A - Driv While Oper Priv Susp Or Revoked	4
3111 - 3111 A - Obedience to Traffic-Control Devices	8
3323 - 3323 B - Duties At Stop Sign	1
3362 - -	1
3542 - 3542 A - Fail To Yield Right Of Way To Ped	2
4703 - 4703 A - Operat Veh W/O Valid Inspect	1
<hr/>	
Total:	19

MOUNT JOY POLICE DEPARTMENT

21 E MAIN ST, MOUNT JOY,
PA 17552

Phone: 717-653-1650

Fax: 717-653-0062

Criminal Charges by Charge Type

Starting Issue Date 11/1/2020 to Ending Issue Date 11/30/2020

Charge Type: ARREST

Charge	Total
1543 B1.1I - DRIVING WHILE BAC .02 OR GREATER WHILE LICENSE SUS	1
2701 A1 - SIMPLE ASSAULT - ATTEMPT	1
2705 - RECKLESSLY ENDANGERING ANOTHER PERSON	1
3112 A3I - STEADY RED SIGNAL	1
3303 A - OVERTAKING VEHICLE ON THE LEFT	1
3304 A2 - CRIM'L MISCH-TAMPER W/PROPERTY	2
3323 B - DUTIES AT STOP SIGN	1
3323 B - PA TITLE 75, SECTION VC-3323 (B): STOP SIGNS AND YIELD SIGNS.	1
3362 A1 - MAX SPD LIMIT -35 MPH URBAN DIST	1
3502 A1 - BURGLARY OCCUPIED STRUCTURE	1
3733 A - FLEEING OR ATTEMPTING TO ELUDE OFFICER	1
3743 A - PA TITLE 75, SECTION VC-3743 (A): ACCIDENTS INVOLVING DAMAGE TO ATTENDED VEHICLE OR PROPERTY.	1
3744 A - PA TITLE 75, SECTION VC-3744 (A): DUTY TO GIVE INFORMATION AND RENDER AID.	1
3802 A1 - DRIVING UNDER THE INFLUENCE -GENERAL IMPAIRMENT	1
3802 C - DRIVING UNDER THE INFLUENCE-ALC - .16% OR HIGHER	1
780-113 A32 - USE / POSSESSION OF DRUG PARAPHERNALIA	1
Total:	17

Charge Type: COMPLAINT

Charge	Total
1543 B1.1I - DRIVING WHILE BAC .02 OR GREATER WHILE LICENSE SUS	1
2705 - RECKLESSLY ENDANGERING ANOTHER PERSON	1
2709 A1 - HARASSMENT/STRIKE, SHOVE, KICK, ETC.	3
3112 A3I - STEADY RED SIGNAL	1
3303 A - OVERTAKING VEHICLE ON THE LEFT	1
3304 A5 - CRIMINAL MISCHIEF - DAMAGE PROPERTY - SUMMARY CASE	1
3323 B - DUTIES AT STOP SIGN	1
3362 - SPEEDING	1
3733 A - FLEEING OR ATTEMPTING TO ELUDE OFFICER	1
3802 A1 - DRIVING UNDER THE INFLUENCE -GENERAL IMPAIRMENT	1
3802 C - DRIVING UNDER THE INFLUENCE-ALC - .16% OR HIGHER	1
5503 A4 - DISORDER CONDUCT	1
Total:	14

**MOUNT JOY BOROUGH POLICE DEPARTMENT
MONIES COLLECTED NOVEMBER 2020**

	331.120	Borough Tickets (Other)	\$0.00
	321.310	Bicycle Registration	\$0.00
	380.010	Alarm Fees	\$400.00
	321.600	Mercantile Licenses	\$0.00
	362.100	Police Reports	\$75.00
331.11	331.120	Clerk of Court Disbursement	\$215.72
331.11	331.120	Magisterial Court Disbursement	\$932.89
	410.183	SERT Reimbursement	\$182.12
331.11		York County DUI Reimbursement	\$0.00
	380.012	Misc.	\$10.05

TOTAL Nov 2020	\$1,815.78
<i>Total Nov 2019</i>	<i>\$3,690.59</i>

Submitted by: _____



Received by: _____

D. Ward

New Detective Cases

	2012	2013	2014	2015	2016	2017	2018	2019	2020
January	17	11	0	6	6	7	5	3	4
February	17	4	8	12	6	9	5	3	7
March	17	5	6	11	6	8	7	7	6
April	5	8	4	5	8	6	6	4	6
May	34	7	1	13	2	3	14	5	7
June	13	8	3	10	2	7	3	10	5
July	7	10	5	8	3	20	12	4	9
August	7	8	4	10	12	7	3	3	6
September	13	10	1	6	4	6	4	3	7
October	9	9	11	6	13	7	6	6	9
November	9	9	7	4	10	7	4	10	1
December	10	4	12	6	10	9	4	3	

Police Activity Statistics 2020

	Citation Charges	Criminal Charges	Deposits	Incidents	Total Inc YTD	Total Inc Prev YTD
Jan	53	27	\$0.00	574	574	547
Feb	33	11	\$5,107.90	559	1133	1062
Mar	26	11	\$3,412.52	486	1619	1626
Apr	8	13	\$2,492.27	357	1976	2185
May	24	24	\$2,792.69	553	2529	2862
June	43	14	\$1,692.13	700	3229	3322
July	25	39	\$5,440.84	668	3897	4015
Aug	48	24	\$5,959.42	718	4615	4701
Sept	86	28	\$5,207.30	667	5282	5415
Oct	15	19	\$2,186.76	524	5806	6105
Nov	19	31	\$1,815.78	497	6303	6721
Dec						
TOTAL						

FDMJ Monthly Incident Report Summary

November 2020

Responded to **45 alarms** for the month of November 2020 – **406 total alarms** for year as of 11/30/20

Time in service for month: **17 hours and 36 minutes**

Average manpower per incident: **10 members per call for month - (6a-4p 26 calls/6.3 members per call)**

Total Man-hours: **164 hours & 55 minutes**

Calls by Municipality First Due: 30 first due alarms – 15 Mutual aid alarms

- Mount Joy Borough - 20
- Rapho Township - 9
- Mount Joy Township - 0
- East Donegal Township – 1

Apparatus used

- Engine 75-1 - 15
- Engine 75-2 - 16
- Truck 75 - 12
- Squad 75-1 - 7
- Traffic 75 - 2
- Duty Chief Vehicle - 9
- Duty Officer Vehicle – 17

Property pre-incident value: \$ 0.00

Property fire loss: \$0.00

Property post incident saved: \$0.00

2020 FDMJ responds to a call every 19 hours & 44 min

Total Training hours of 22 members trained for 62 hours

Fire Prevention Details – No details for the month

Community Service Details for the month – 2 community service events and 1 duty crew.

Notable First Due Calls:

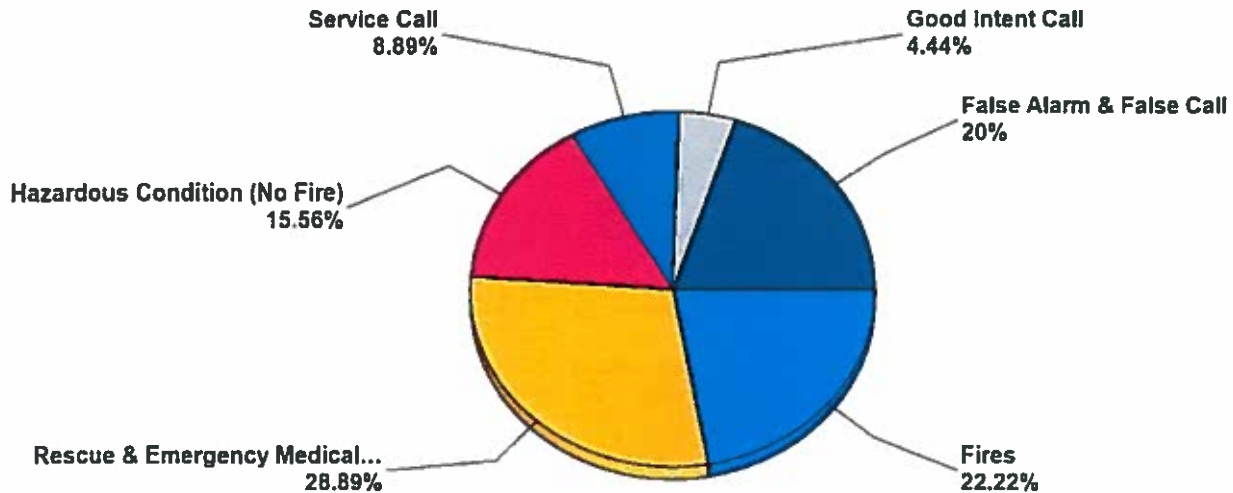
Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:37:54 AM

Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 11/01/2020 | End Date: 11/30/2020



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	10	22.22%
Rescue & Emergency Medical Service	13	28.89%
Hazardous Condition (No Fire)	7	15.56%
Service Call	4	8.89%
Good Intent Call	2	4.44%
False Alarm & False Call	9	20%
TOTAL	45	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	10	22.22%
311 - Medical assist, assist EMS crew	1	2.22%
321 - EMS call, excluding vehicle accident with injury	5	11.11%
322 - Motor vehicle accident with injuries	4	8.89%
324 - Motor vehicle accident with no injuries.	2	4.44%
357 - Extrication of victim(s) from machinery	1	2.22%
412 - Gas leak (natural gas or LPG)	2	4.44%
424 - Carbon monoxide incident	1	2.22%
444 - Power line down	2	4.44%
445 - Arcing, shorted electrical equipment	1	2.22%
463 - Vehicle accident, general cleanup	1	2.22%
521 - Water evacuation	1	2.22%
553 - Public service	2	4.44%
571 - Cover assignment, standby, moveup	1	2.22%
651 - Smoke scare, odor of smoke	1	2.22%
671 - HazMat release investigation w/no HazMat	1	2.22%
733 - Smoke detector activation due to malfunction	1	2.22%
735 - Alarm system sounded due to malfunction	1	2.22%
736 - CO detector activation due to malfunction	1	2.22%
740 - Unintentional transmission of alarm, other	1	2.22%
741 - Sprinkler activation, no fire - unintentional	1	2.22%
743 - Smoke detector activation, no fire - unintentional	1	2.22%
744 - Detector activation, no fire - unintentional	1	2.22%
745 - Alarm system activation, no fire - unintentional	2	4.44%
TOTAL INCIDENTS:	45	100%

Only REVIEWED and/or LOCKED IMPORTED incidents are included. Summary results for a major incident type are not displayed if the count is zero.

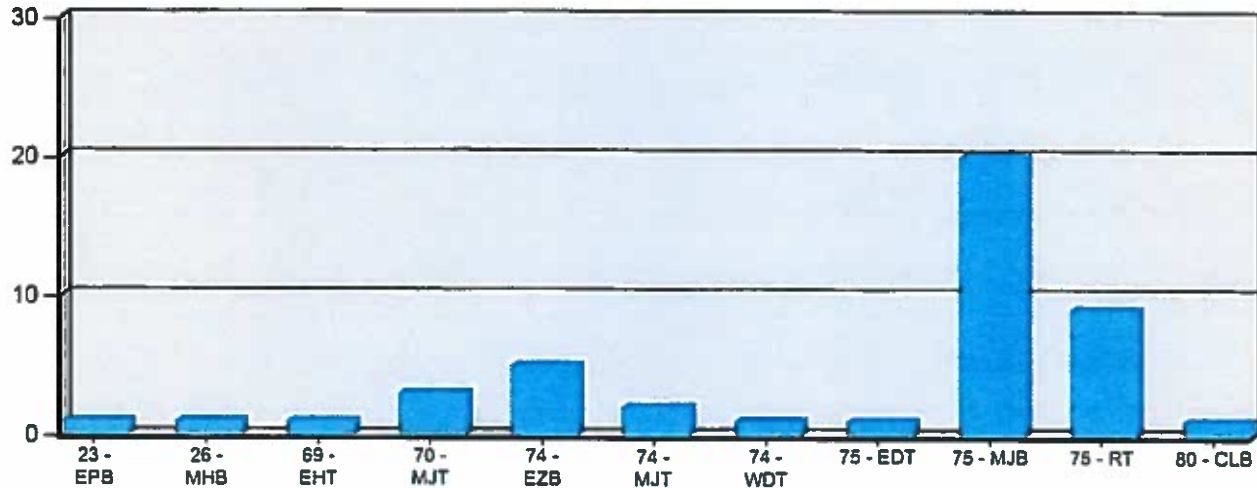
Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:38:37 AM

Incident Count per Zone for Date Range

Start Date: 11/01/2020 | End Date: 11/30/2020



ZONE	# INCIDENTS
23 - EPB - 23 East Petersburg Borough	1
26 - MHB - 26 Manheim Borough	1
69 - EHT - 69 East Hempfield Township	1
70 - MJT - 70 Mount Joy Township	3
74 - EZB - 74 Elizabethtown Borough	5
74 - MJT - 74 Mount Joy Township	2
74 - WDT - 74 West Donegal Township	1
75 - EDT - 75 East Donegal Township	1
75 - MJB - 75 Mount Joy Borough	20
75 - RT - 75 Rapho Township	9
80 - CLB - 80 Columbia Borough	1

TOTAL: 45

Zone information is defined on the Basic Info 3 screen of an incident. Only REVIEWED incidents included. Archived Zones cannot be unarchived.



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Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:39:10 AM

Incident Statistics

Start Date: 11/01/2020 | End Date: 11/30/2020

INCIDENT COUNT			
INCIDENT TYPE		# INCIDENTS	
EMS		13	
FIRE		32	
TOTAL		45	
TOTAL TRANSPORTS (N2 and N3)			
APPARATUS	# of APPARATUS TRANSPORTS	# of PATIENT TRANSPORTS	TOTAL # of PATIENT CONTACTS
TOTAL			
PRE-INCIDENT VALUE		LOSSES	
\$0.00		\$0.00	
CO CHECKS			
424 - Carbon monoxide incident		1	
736 - CO detector activation due to malfunction		1	
TOTAL		2	
MUTUAL AID			
Aid Type		Total	
Aid Given		14	
Aid Received		1	
OVERLAPPING CALLS			
# OVERLAPPING		% OVERLAPPING	
0		NaN	
LIGHTS AND SIREN - AVERAGE RESPONSE TIME (Dispatch to Arrival)			
Station	EMS	FIRE	
Station 75	0:06:54	0:10:47	
AVERAGE FOR ALL CALLS		0:09:21	
LIGHTS AND SIREN - AVERAGE TURNOUT TIME (Dispatch to Enroute)			
Station	EMS	FIRE	
Station 75	0:03:11	0:05:20	
AVERAGE FOR ALL CALLS		0:04:36	
AGENCY		AVERAGE TIME ON SCENE (MM:SS)	
Fire Department Mount Joy		23:37	

Only Reviewed Incidents included. CO Checks only includes Incident Types: 424, 736 and 734. # Apparatus Transports = # of incidents where apparatus transported. # Patient Transports = All patients transported by EMS. # Patient Contacts = # of PCR contacted by apparatus. This report now returns both NEMSIS 2 & 3 data as appropriate. For overlapping calls that span over multiple days, total per month will not equal Total count for year.

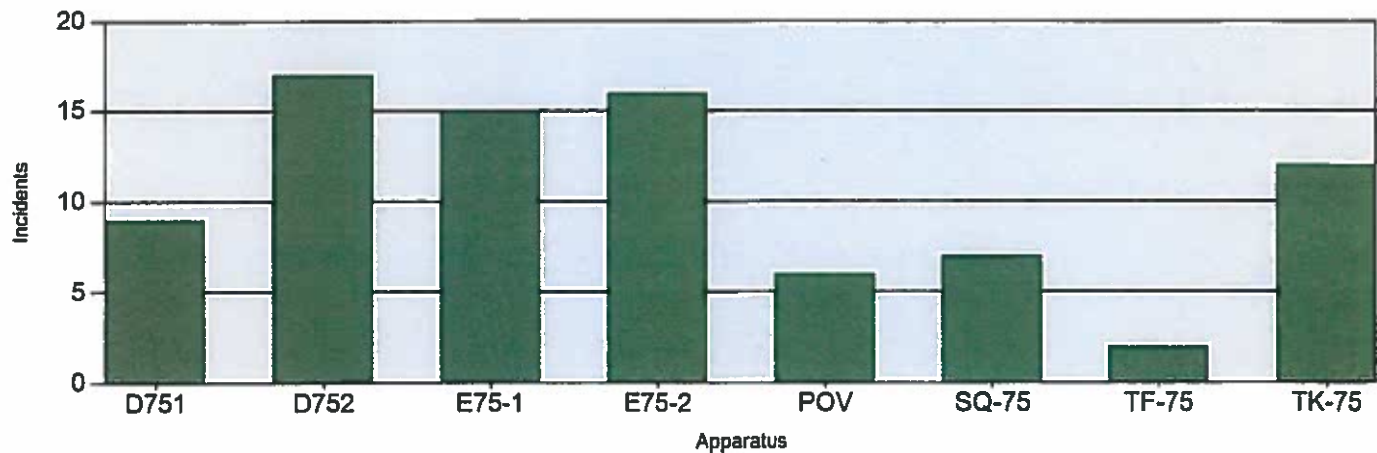
Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:39:43 AM

Incident Count per Apparatus for Date Range

Start Date: 11/01/2020 | End Date: 11/30/2020



APPARATUS	# of INCIDENTS
D751	9
D752	17
E75-1	15
E75-2	16
POV	6
SQ-75	7
TF-75	2
TK-75	12

Canceled apparatus (per the THIS APPARATUS WAS CANCELLED checkbox on Basic Info 4) not included.
Only REVIEWED incidents included.



Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:40:07 AM

Incident Count with Man-Hours per Zone for Date Range

Start Date: 11/01/2020 | End Date: 11/30/2020

ZONE	INCIDENT COUNT	MAN-HOURS
23 - EPB - 23 East Petersburg Borough	1	5:59
26 - MHB - 26 Manheim Borough	1	19:21
69 - EHT - 69 East Hempfield Township	1	18:49
70 - MJT - 70 Mount Joy Township	3	11:36
74 - EZB - 74 Elizabethtown Borough	5	14:50
74 - MJT - 74 Mount Joy Township	2	1:03
74 - WDT - 74 West Donegal Township	1	3:58
75 - EDT - 75 East Donegal Township	1	1:39
75 - MJB - 75 Mount Joy Borough	20	53:40
75 - RT - 75 Rapho Township	9	33:12
80 - CLB - 80 Columbia Borough	1	0:49
TOTAL	45	164:55

NOTE that this report takes into consideration ONLY those Personnel that are associated with an Apparatus, and that only Reviewed incidents are included in the counts.



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Fire Department Mount Joy

Mount Joy, PA
This report was generated on 12/5/2020 11:40:35 AM

Losses for Date Range
Start Date: 11/01/2020 | End Date: 11/30/2020

TOTAL INCIDENTS		TOTAL PROPERTY LOSS	TOTAL CONTENT LOSS	TOTAL LOSSES	AVERAGE LOSS	
INCIDENT NUMBER	DATE	Incident Type	PROPERTY LOSS	CONTENT LOSS	TOTAL	% of Total

Only REVIEWED incidents included

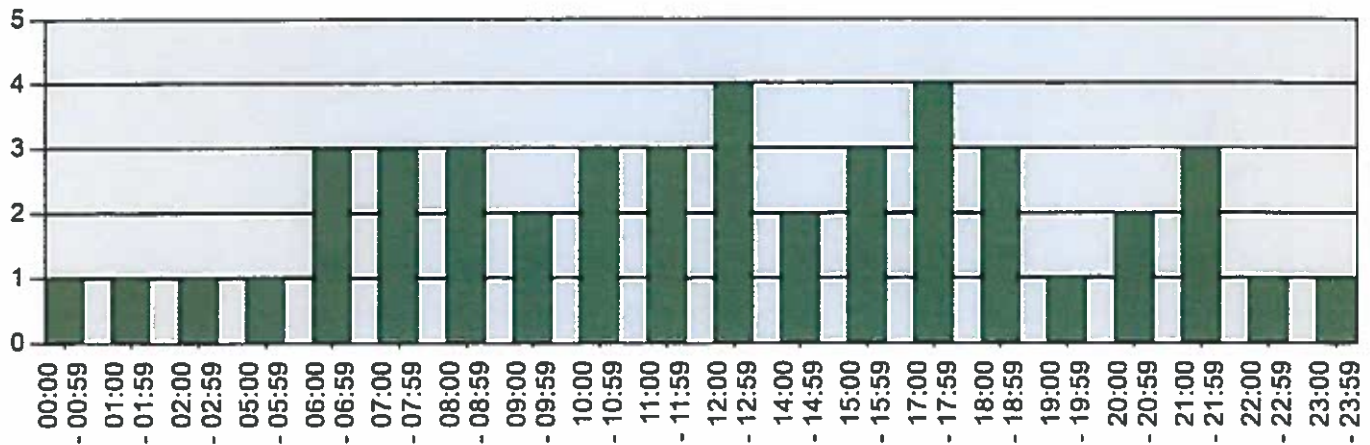
Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:41:04 AM

Incidents by Hour for Date Range

Start Date: 11/01/2020 | End Date: 11/30/2020



Hour	# of CALLS
00:00 - 00:59	1
01:00 - 01:59	1
02:00 - 02:59	1
05:00 - 05:59	1
06:00 - 06:59	3
07:00 - 07:59	3
08:00 - 08:59	3
09:00 - 09:59	2
10:00 - 10:59	3
11:00 - 11:59	3
12:00 - 12:59	4
14:00 - 14:59	2
15:00 - 15:59	3
17:00 - 17:59	4
18:00 - 18:59	3
19:00 - 19:59	1
20:00 - 20:59	2
21:00 - 21:59	3
22:00 - 22:59	1
23:00 - 23:59	1

Only REVIEWED incidents included

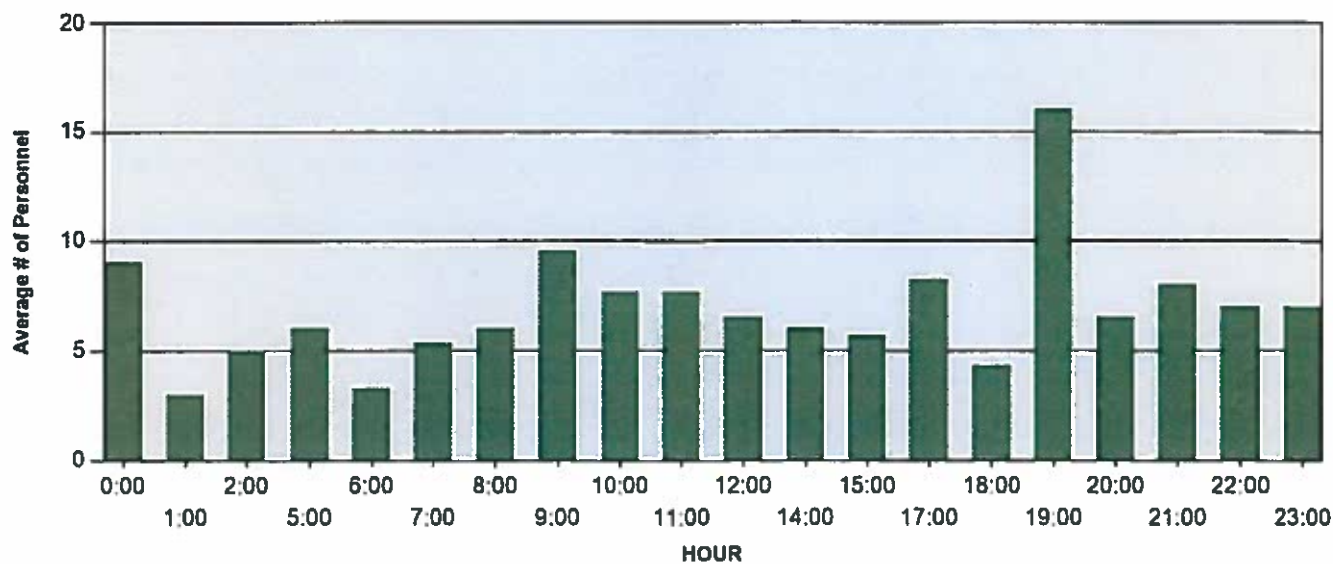
Fire Department Mount Joy

Mount Joy, PA

This report was generated on 12/5/2020 11:41:30 AM

Average Number of Responding Personnel per Hour for Date Range

Start Date: 11/01/2020 | End Date: 11/30/2020



Hour	Avg. # Personnel
00:00 - 00:59	9.00
01:00 - 01:59	3.00
02:00 - 02:59	5.00
05:00 - 05:59	6.00
06:00 - 06:59	3.33
07:00 - 07:59	5.33
08:00 - 08:59	6.00
09:00 - 09:59	9.50
10:00 - 10:59	7.67
11:00 - 11:59	7.67
12:00 - 12:59	6.50
14:00 - 14:59	6.00
15:00 - 15:59	5.67
17:00 - 17:59	8.25
18:00 - 18:59	4.33
19:00 - 19:59	16.00
20:00 - 20:59	6.50
21:00 - 21:59	8.00
22:00 - 22:59	7.00
23:00 - 23:59	7.00

AVE. # PERSONNEL calculated from total number of personnel responding to incidents begun at the HOUR divided by total number of REVIEWED incidents for that HOUR. Includes personnel that responded both on or off apparatus.



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55 East Main Street : Mount Joy, PA 17552 : 717.653.4227
mainstreetmountjoy.com : msmj@msmj.comcastbiz.net

MOUNT JOY BOROUGH COUNCIL REPORT FOR DECEMBER 2020 ACTIVITIES

We have been working one-on-one with several businesses downtown during this difficult time. We are also continuing with the regular Zoom / Webinars through Recovery Lancaster, PA Downtown Center and other groups.

- Developed social media campaign for shopping small & local.
- Held Winterfest on December 05 in a new event space (Delta Street & Henry Street). Event was a success based on current situation. Estimated about 800 people from 2 – 6. Ended event early at 6 once weather became colder and people stopped coming over. Businesses reported good business and higher sales than normal during the event and a few days after.
- Visited several downtown businesses regarding PA State guidance & restrictions. Provided methods to remain open and still follow restrictions.
- Worked with 6 people looking for apartments in Mount Joy.

Took some vacation time in December to finish the year.

Holiday stars & banners will be coming down first week of January (weather dependent).

Mount Joy Borough

Zoning & Code Department

REPORT

To: Borough Council; Borough Manager

From: Stacie Gibbs- Zoning, Codes and Planning Administrator

Date: December 2020

Re: December 2020 Zoning, Code and Planning Report

UPDATES

REPORT

- Prepared draft December Planning Commission minutes.
- Prepared draft December Zoning Hearing Board minutes.
- Prepared draft January Planning Commission agenda.
- Prepared 2021 rental license letters, invoices, and tenant reports.
- Conducted sidewalk snow inspections
- Updated department website pages.
- Reviewed all documents in preparation for The Lakes Dedication.
- Reviewed proposal Sketch Plan for Mount Joy Senior Housing for zoning compliance.
- Reviewed proposal for request to authorize Petition to rezone for 202 Fairview Street.
- Prepared all annual reports.
- Reviewed all letters for 200 S. Plum Street SW Plan.

MEETINGS

- 12/7 -Attended Council Meeting (virtual)
- 12/9 -Attended Planning Commission meeting (virtual)
- 12/16 – Attended Zoning Hearing Board (virtual).
- 12/17 – Attended Council Administration and Finance Committee Meeting(virtual).
- 12/10– Met with owner of 200 S. Plum Street and Engineer to review Stormwater Management Site Plan submission for January Planning.

TRAINING

MOUNT JOY BOROUGH-Violations: " 12/1/2020 - 12/31/2020

DECEMBER 2020 CODE/VIOLATION REPORT

Property

Closed

Total number of Closed Property Violations: 32

Open

Total number of Open Property Violations: 2

StormWater

Closed

Total number of Closed StormWater Violations: 1

Street Obstr

Closed

Total number of Closed Street Obstr Violations: 2

37

MOUNT JOY BOROUGH-MultiSelect Permits App Date: 12/1/2020 - 12/31/2020

DECEMBER 2020 ZONING AND CONSTRUCTION PERMIT REPORT

PermitNo	App Date	Issue Date	Owner	Project Addr	Descript	Fee
Building						
Res-Alterations						
Active						
200839	12/8/2020	12/16/2020	QUARTZ REALTY LLC	747 W MAIN STREET	renovations to building	\$501.00
Total Res-Alterations 1						\$501.00
Res-Deck Stairs						
Active						
200846	12/21/2020	12/28/2020	WHITE JEREMIAH A	209 MOUNT JOY ST	New stairs with deck to front door	\$65.00
Total Res-Deck Stairs 1						\$65.00
Res-Renovations						
Active						
200850	12/21/2020	12/28/2020	HOFFMAN ROBERT & CHARLES STOKES	122 E DONEGAL ST	Renovations	\$193.00
200840	12/11/2020	12/16/2020	KRAUS CHARLES M 3RD & ELAINE K	719 BERNHARD AVE	1/2 Bath renovations	\$113.00
Pending						
200852	12/28/2020		MESSIAH FAMILY SERVICES	653 IVY DRIVE	Enclose back porch	\$109.00
Total Res-Renovations 3						\$415.00
SFD						
Active						
200844	12/11/2020	12/18/2020	CHARLAN GROUP	108 LAKESIDE XING	New single family Dwelling	\$965.00
200843	12/11/2020	12/18/2020	METZLER HOME BUILDERS INC	229 CHARLAN BLVD	New single family Dwelling	\$965.00
200842	12/11/2020	12/18/2020	METZLER HOME BUILDERS INC	133 CHARLAN BLVD	New single family	\$965.00
Total SFD 3						\$2,895.00
Total Building 8						\$3,876.00
Electrical						
Res-Electric						
Pending						
200854	12/28/2020		CHOW NICK	121 N BARBARA ST	Upgrade and install new electric	\$65.00
Total Res-Electric 1						\$65.00
Total Electrical 1						\$65.00
Use						
Use						
Pending						
200847	12/21/2020		B&E RENTALS LLC	115 E MAIN ST	New Business- Jon's tax Service	\$60.00
Total Use 1						\$60.00
Total Use 1						\$60.00
Zoning						
Fence						
Active						
200853	12/28/2020	12/28/2020	RENCHE JACQUELYN RENEE	1095 REAGAN ST	Install fence	\$40.00
200851	12/22/2020	12/22/2020	BELL TOMMY	11 WALNUT ST	Install fence	\$40.00
Total Fence 2						\$80.00
Light Home Occupation						
CO Issued						
200838	12/1/2020	12/1/2020	CLARK MICHAEL AND LORI	122 LAKESIDE XING	Light In Home Business	\$40.00
Denied						
200845	12/14/2020		DOBOS GORDON J PRESTON AUSTIN J	206 MOUNT JOY ST	Light Home Occupation: Massage Therap	
Total Light Home Occupation 2						\$40.00

PermitNo	App Date	Issue Date	Owner	Project Addr	Descript	Fee
Zoning						
Shed						
Active						
200855	12/28/2020	12/28/2020	BOLL LEON S & LINDA K	127 N MARKET AVE	New shed	\$40.00
Total Shed 1						\$40.00
Total Zoning 5						\$160.00
Total Permits: 15						\$4,161.00

BUILDING PERMITS ANALYSIS OF FEES RECEIVED

MONTH	2016	2017	2018	2019	2020
JANUARY	\$ 450.00	\$ 792.00	\$ 496.00	\$ 645.00	\$ 4,874.00
FEBRUARY	\$ 1,500.00	\$ 1,196.00	\$ 837.00	\$ 375.00	\$ 525.00
MARCH	\$ 1,268.00	\$ 4,532.00	\$ 3,729.00	\$ 1,293.00	\$ 4,212.00
APRIL	\$ 930.00	\$ 1,190.00	\$ 2,980.80	\$ 3,160.00	\$ 631.00
MAY	\$ 3,501.00	\$ 5,312.00	\$ 7,371.00	\$ 1,910.00	\$ 967.00
JUNE	\$ 4,185.00	\$ 1,324.00	\$ 1,295.00	\$ 3,058.00	\$ 4,025.00
JULY	\$ 9,363.00	\$ 3,650.00	\$ 10,276.00	\$ 1,905.00	\$ 987.00
AUGUST	\$ 3,633.00	\$ 1,996.00	\$ 4,237.00	\$ 5,645.00	\$ 2,324.00
SEPTEMBER	\$ 1,020.00	\$ 2,046.00	\$ 2,273.00	\$ 3,752.00	\$ 2,457.00
OCTOBER	\$ 4,255.00	\$ 4,030.00	\$ 6,431.10	\$ 1,714.00	\$ 22,351.00
NOVEMBER	\$ 1,120.00	\$ 6,478.00	\$ 2,027.00	\$ 1,994.00	\$ 1,687.00
DECEMBER	\$ 1,923.00	\$ 1,370.00	\$ 593.68	\$ 859.00	\$ 4,161.00
TOTALS	(\$ 33,148.00 Budgeted \$30,000)	(\$33,916.00 Budgeted \$30,000)	(\$42,546.58 Budgeted \$35,000)	(\$26,310.00 Budgeted \$35,000)	(\$49,201.00 Budgeted- \$25,000)

MOUNT JOY BOROUGH-StormWater Permits App Date: 12/1/2020 - 12/31/2020

DECEMBER 2020 STORMWATER PERMIT REPORT

PermitNo	App Date	Issue Date	Owner	Project Addr	Descript	Fee
StormWater						
Exemption						
Active						
200856	12/28/2020	12/28/2020	BOLL LEON S & LINDA K	127 N MARKET AVE	New shed	\$50.00
Total Exemption 1						\$50.00
Total StormWater 1						\$50.00
Total Permits: 1						\$50.00

STORMWATER PERMITS COMPARISON SPREADSHEET

MONTH	2016	2017	2018	2019	2020
JANUARY	X	X	X	\$ 100.00	\$ 50.00
FEBRUARY	\$50.00	\$ 100.00	\$ 100.00	\$ 200.00	\$ 225.00
MARCH	\$300.00	\$ 250.00	\$ 325.00	\$ 325.00	\$ 600.00
APRIL	\$400.00	\$ 250.00	\$ 200.00	\$ 500.00	\$ 100.00
MAY	\$550.00	\$ 300.00	\$ 350.00	\$ 450.00	\$ 300.00
JUNE	\$550.00	\$ 300.00	\$ 250.00	\$ 525.00	\$ 675.00
JULY	\$375.00	\$ 350.00	\$ 375.00	\$ 400.00	\$ 300.00
AUGUST	\$325.00	\$ 400.00	\$ 150.00	\$ 425.00	\$ 300.00
SEPTEMBER	\$500.00	\$ 300.00	\$ 50.00	\$ 250.00	\$ 475.00
OCTOBER	\$675.00	\$ 275.00	\$ 200.00	\$ 50.00	\$ 575.00
NOVEMBER	\$250.00	\$ 100.00	\$ 50.00	X	\$ 250.00
DECEMBER	\$100.00	X	\$ 50.00	\$ 100.00	\$ 50.00
TOTALS	(\$4,025.00 Budget	(\$2,625.00 Budget	(\$2,100.00 Budgeted	(\$3,325.00 Budgeted	(\$ 3,900.00 Budgeted-
	\$2,500.00)	\$2,500.00)	\$2,500.00)	\$2,000.00)	\$2,000)

STREET OPENING PERMITS COMPARISON SPREADSHEET

MONTH	2016	2017	2018	2019	2020
JANUARY	\$ 50.00	\$ 50.00	\$ 375.00	\$ 300.00	\$ 75.00
FEBRUARY	\$100.00	X	\$ 75.00	\$ 150.00	X
MARCH	\$450.00	\$ 50.00	\$ 130.00	X	\$ 150.00
APRIL	\$ 50.00	\$100.00	X	\$ 75.00	X
MAY	\$ 50.00	X	\$ 225.00	\$ 220.00	X
JUNE	\$100.00	\$150.00	\$ 75.00	\$ 75.00	X
JULY	\$150.00	\$100.00	\$ 150.00	\$ 75.00	X
AUGUST	\$ -	\$ 50.00	\$ 300.00	\$ 75.00	\$ 75.00
SEPTEMBER	\$ -	\$ 50.00	\$ 150.00	\$ 75.00	X
OCTOBER	\$ -	\$150.00	\$ 75.00	\$ 450.00	X
NOVEMBER	\$ 50.00	X	\$ 300.00	\$ 450.00	\$ 75.00
DECEMBER	\$100.00	\$ 50.00	\$ 225.00	\$ 300.00	X
TOTALS	(\$1,100.00 Budgeted	(\$750.00 Budgeted	(\$2,080.00 Budgeted	(\$2,245.00 Budgeted	(\$375.00 Budgeted -
	\$1,000.00)	\$1,000.00)	\$1,000)	\$1,300)	\$1,500

RENTAL LICENSES COMPARISON SPREADSHEET

MONTH	2016	2017	2018	2019	2020
JANUARY	\$ 700.00	\$ 7,600.00	\$ 23,600.00	\$ 32,100.00	\$ 33,500.00
FEBRUARY	\$25,850.00	\$26,800.00	\$ 29,650.00	\$ 18,375.00	\$ 14,620.00
MARCH	\$31,750.00	\$31,350.00	\$ 14,250.00	\$ 17,650.00	\$ 19,200.00
APRIL	\$ 3,500.00	\$ 2,900.00	\$ 1,050.00	\$ 450.00	\$ 1,350.00
MAY	\$ 3,850.00	\$ 50.00	\$ 150.00	\$ 50.00	\$ 200.00
JUNE	\$ 750.00	\$ 50.00	\$ 100.00	\$ 150.00	X
JULY	\$ 500.00	\$ 100.00	\$ 150.00	\$ 100.00	\$ 200.00
AUGUST	\$ 50.00	\$ 250.00	\$ 400.00	\$ 250.00	\$ 100.00
SEPTEMBER	\$ 150.00	\$ 150.00	\$ 200.00	\$ 50.00	\$ 100.00
OCTOBER	\$ 200.00	\$ 50.00	\$ 100.00	\$ 100.00	X
NOVEMBER	\$ 100.00	X	X	X	X
DECEMBER			X	\$ 50.00	X
TOTALS	\$67,400.00 (Budgeted \$62,000.00)	\$69,300.00 (Budgeted \$65,000.00)	\$69,700+ \$725 late fees = \$70,425 (Budgeted \$68,000)	\$69,325.00 + \$900.00= \$70,225 late fees (Budgeted \$70,000)	(\$69,270.00 + \$750.00 late fees= \$70,020 (Budgeted- \$70,000)

Mount Joy Borough

Zoning, Code & Planning Department

To: Borough Council; Borough Manager

From: Stacie Gibbs- Zoning, Codes and Planning Administrator

Date: December 2020

Re: 2020 ANNUAL REPORTS

MOUNT JOY BOROUGH-MultiSelect Permits App Date: 1/1/2020 - 12/30/2020

2020 ANNUAL PERMIT REPORT

Permit Type

Building

Above ground pool

Total by SubType: Above ground pool and Use: 2

addition

Total by SubType: addition and Use: 2

chimney

Total by SubType: chimney and Use: 1

Com - Expansion

Total by SubType: Com - Expansion and Use: 1

Com-Accessory

Total by SubType: Com-Accessory and Use: 1

Com-Alterations

Total by SubType: Com-Alterations and Use: 9

Com-Building

Total by SubType: Com-Building and Use: 2

Commercial Roof

Total by SubType: Commercial Roof and Use: 1

Com-porch

Total by SubType: Com-porch and Use: 1

Com-Renovations

Total by SubType: Com-Renovations and Use: 3

Com-Roof

Total by SubType: Com-Roof and Use: 1

deck

Total by SubType: deck and Use: 5

finish basement

Total by SubType: finish basement and Use: 1

garage

Total by SubType: garage and Use: 1

Garage/deck

Total by SubType: Garage/deck and Use: 1

hot tub

Total by SubType: hot tub and Use: 2

Inground Pool

Total by SubType: Inground Pool and Use: 2

mobile home

Total by SubType: mobile home and Use: 1

renovations to barn

Total by SubType: renovations to barn and Use: 1

Res-above ground pool

Total by SubType: Res-above ground pool and Use: 1

Permit Type	
Building	
Res-Addition	
	Total by SubType: Res-Addition and Use: 1
Res-Alterations	
	Total by SubType: Res-Alterations and Use: 9
Res-Deck	
	Total by SubType: Res-Deck and Use: 3
Res-Deck Stairs	
	Total by SubType: Res-Deck Stairs and Use: 2
Res-Electrical	
	Total by SubType: Res-Electrical and Use: 1
Res-Garage	
	Total by SubType: Res-Garage and Use: 1
Residential roof	
	Total by SubType: Residential roof and Use: 1
Res-Porch	
	Total by SubType: Res-Porch and Use: 1
Res-Renovations	
	Total by SubType: Res-Renovations and Use: 11
Res-Townhouse	
	Total by SubType: Res-Townhouse and Use: 4
roof	
	Total by SubType: roof and Use: 1
roof over deck/electrical	
	Total by SubType: roof over deck/electrical and Use: 1
SFD	
	Total by SubType: SFD and Use: 7
solar panels	
	Total by SubType: solar panels and Use: 5
	Total by Use: 87
	Total Building 87
Demo	
Access. Struct demo	
	Total by SubType: Access. Struct demo and Use: 1
Res-Demo	
	Total by SubType: Res-Demo and Use: 1
	Total by Use: 2
	Total Demo 2
Electrical	
Electrical	
	Total by SubType: Electrical and Use: 1
Res-Electric	
	Total by SubType: Res-Electric and Use: 6

Permit Type	
Electrical	
Res-patio/electric	
	Total by SubType: Res-patio/electric and Use: 1
	Total by Use: 8
	Total Electrical 8
Mechanical	
Comm Mech	
	Total by SubType: Comm Mech and Use: 2
Res.Mech	
	Total by SubType: Res.Mech and Use: 6
	Total by Use: 8
	Total Mechanical 8
Plumbing	
Res-Plumbing	
	Total by SubType: Res-Plumbing and Use: 1
	Total by Use: 1
	Total Plumbing 1
ROW	
leak	
	Total by SubType: leak and Use: 1
new service	
	Total by SubType: new service and Use: 5
	Total by Use: 6
	Total ROW 6
Sign	
Internal Illum Sign	
	Total by SubType: Internal Illum Sign and Use: 1
	Total by Use: 1
	Total Sign 1
StormWater	
Exemption	
	Total by SubType: Exemption and Use: 56
garage	
	Total by SubType: garage and Use: 1
Small Project	
	Total by SubType: Small Project and Use: 7
	Total by Use: 64
	Total StormWater 64
StreetSW	

Permit Type

StreetSW**curb****Total by SubType: curb and Use: 1****curb and sidewalk****Total by SubType: curb and sidewalk and Use: 1****Sidewalk****Total by SubType: Sidewalk and Use: 1****Total by Use: 3****Total StreetSW 3**

Use**Use****Total by SubType: Use and Use: 11****Total by Use: 11****Total Use 11**

Zoning**carport****Total by SubType: carport and Use: 1****container****Total by SubType: container and Use: 1****Deck****Total by SubType: Deck and Use: 5****Driveway****Total by SubType: Driveway and Use: 5****Fence****Total by SubType: Fence and Use: 26****garage****Total by SubType: garage and Use: 3****gazebo****Total by SubType: gazebo and Use: 1****greenhouse****Total by SubType: greenhouse and Use: 1****Light Home Occupation****Total by SubType: Light Home Occupation and Use: 3****Parking Lot****Total by SubType: Parking Lot and Use: 1****Patio****Total by SubType: Patio and Use: 12****pond****Total by SubType: pond and Use: 1****Shed****Total by SubType: Shed and Use: 19****Sign****Total by SubType: Sign and Use: 1**

Permit Type	
Zoning	
Special Event	
	Total by SubType: Special Event and Use: 3
Temporary	
	Total by SubType: Temporary and Use: 6
Use Review	
	Total by SubType: Use Review and Use: 1
wall	
	Total by SubType: wall and Use: 1
	Total by Use: 91
	Total Zoning 91

| | Total Permits: 282 |

MOUNT JOY BOROUGH-Violations: " 1/1/2020 - 12/30/2020

2020 ANNUAL CODE/VIOLATION REPORT

Fire
Closed

Total number of Closed Fire Violations: 7

Open

Total number of Open Fire Violations: 2

Property
Closed

Total number of Closed Property Violations: 374

Open

Total number of Open Property Violations: 40

Zoning
Closed

Total number of Closed Zoning Violations: 13

436

MOUNT JOY BOROUGH Inspections: 1/1/2020 - 12/30/2020
 2020 ANNUAL RENTAL INSPECTION REPORT

Type	Task	Comments	Pass/Fail/Comp	Inspector	Date
4500025800000	Tenant - Property				
	Change In tenent				
		Total Change In tenent	Tenant - Property Inspections: 2		
	Tenant Space				
		Total Tenant Space	Tenant - Property Inspections: 333		
			Total Inspections: 335		

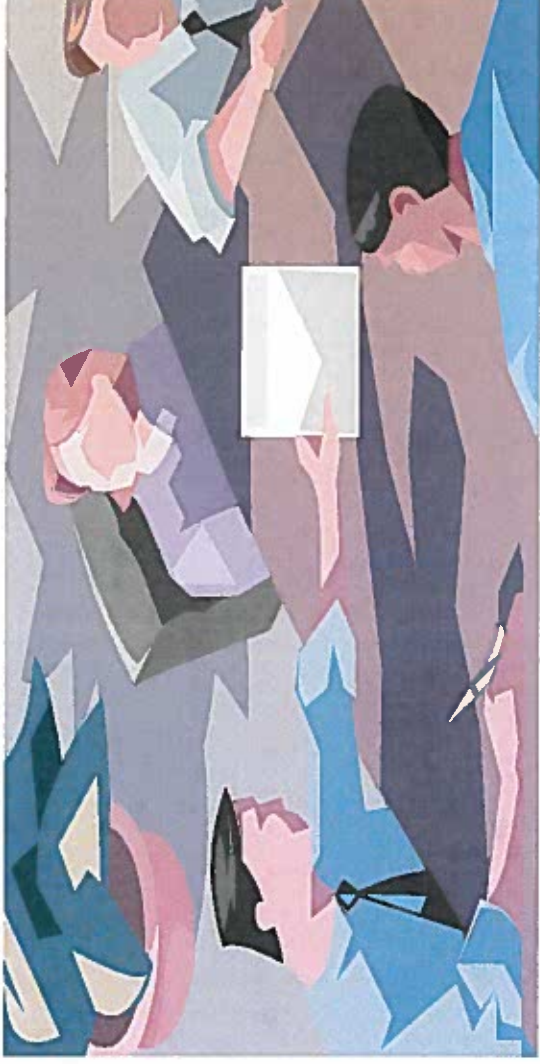
2020 MOUNT JOY BOROUGH



ANNUAL ZONING REPORT

2020 MOUNT JOY BOROUGH
ZONING HEARING BOARD MEMBERS:

Bob Marker, Chair



George Leyh, Vice Chair

Ned Sterling, Secretary

Michael Melhorn

Bruce Haigh

Joe Kenneff, Esquire – Zoning Hearing Board Solicitor

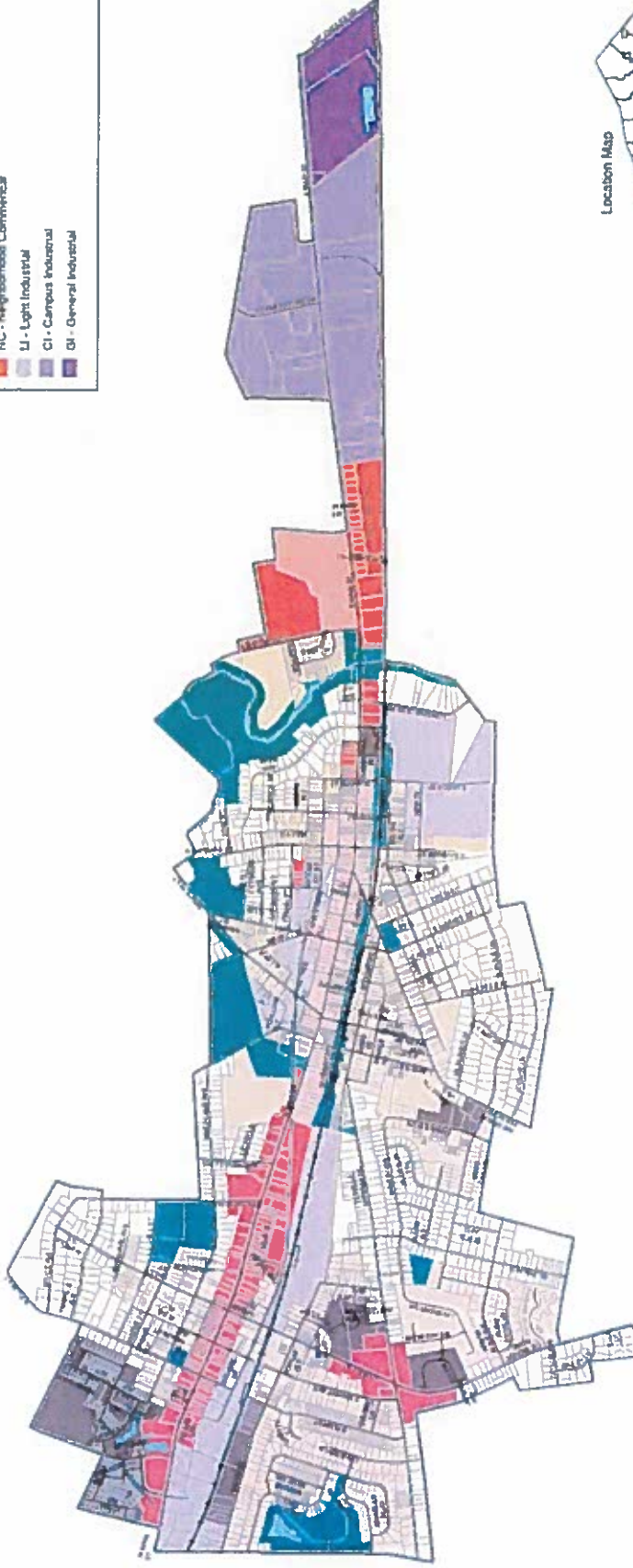
Michelle Parke, Court Reporter

Zoning Map of Mount Joy Borough

Zoning Districts

- C - Conservation
- LDR - Low Density Residential
- MDR - Medium Density Residential
- MHDR - Medium High Density Residential
- CBD - Commercial Business
- GC - General Commercial
- NC - Neighborhood Commercial
- LI - Light Industrial
- CI - Campus Industrial
- GI - General Industrial

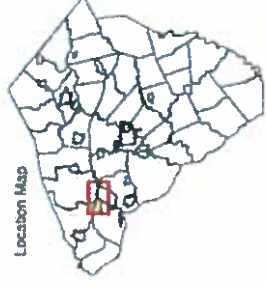
- Water Features
- Parcels
- Roads
- Railroads



Source: Leverage Design (2018). Copyright 2017. This map is for use for reference or planning purposes only. This map is not a legally recorded plan, survey, or engineering document, and it is not intended to be used as such.

For additional information, see www.mountjoyboroughpa.gov.

Map 000000-001
 Mount Joy Borough, Pennsylvania
 10/1/2017



MAY 2020

- An application was received, and a case was presented by JanMichael Kramer, 340 Anchor Road, Elizabethtown, PA 17022 for a Special Exception of Section 270.115.F, to change from one nonconforming use to another, to operate, manufacture and store home décor products at the property located at 170 New Haven Street, Mount Joy, PA. Special Exception was granted. (business never occupied, sale fell through)

SEPTEMBER 2020

- An application was received, and a case was presented by J. Michael and Wendy S. Melhorn, 612 W. Main Street, Mount Joy, PA 17552, for a Special Exception of Section 270-63D(8), to use the lot at 838 Clay Alley, Mount Joy, PA 17552 for outdoor storage as a principal use for truck, trailer and RV parking. Special Exception was granted.

NOVEMBER 2020

- An application was received, and a case was presented by Shawn R. and Jill E. Erb, 221 W. Henry Street, Mount Joy, PA, 17552, for a Special Exception of §270-115.C.(3)(a), to expand their existing nonconforming storage building by more than 25% in total building floor area located at 104 Rear Fairview Street, Mount Joy, PA 17552, and Variances of the following Sections: §270-47.A for setbacks, lot area, and building coverage; §270-83.E.(2) for required parking areas to be surfaced with asphalt, concrete or paving blocks; §270-113.D.(2)a.(1) for a buffer yard to be provided; §270-113.D.(4)(c) for a fence in a buffer yard be provided on the inside of required plant screening. Special Exception and Variances granted.

DECEMBER 2020

- An application was received, and a case was presented by Guardian Properties, LLC, 1834 Freedom Rd., Lancaster, PA 17601 is requesting a Special Exception of Section 270.115.F, to change from one nonconforming use to another, to manufacture crowd control barriers, stage equipment, and theatrical lights; rental and sales of temporary turf protection; and long-term storage of musical stage sets and scenery at the property located at 170 New Haven Street, Mount Joy, PA. Special Exception was granted.



2020 MOUNT JOY BOROUGH



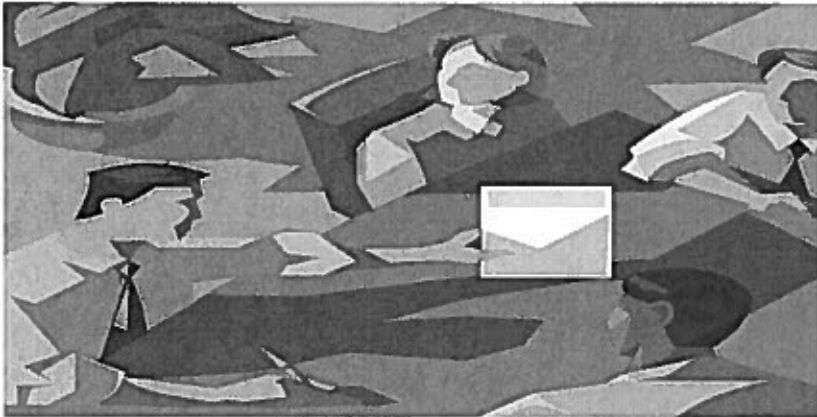
ANNUAL PLANNING REPORT

2020 MOUNT JOY BOROUGH PLANNING COMMISSION MEMBERS:

Wendy Melhorn – Chair

Wendy Sweigart – Vice Chair

Kyle Miller



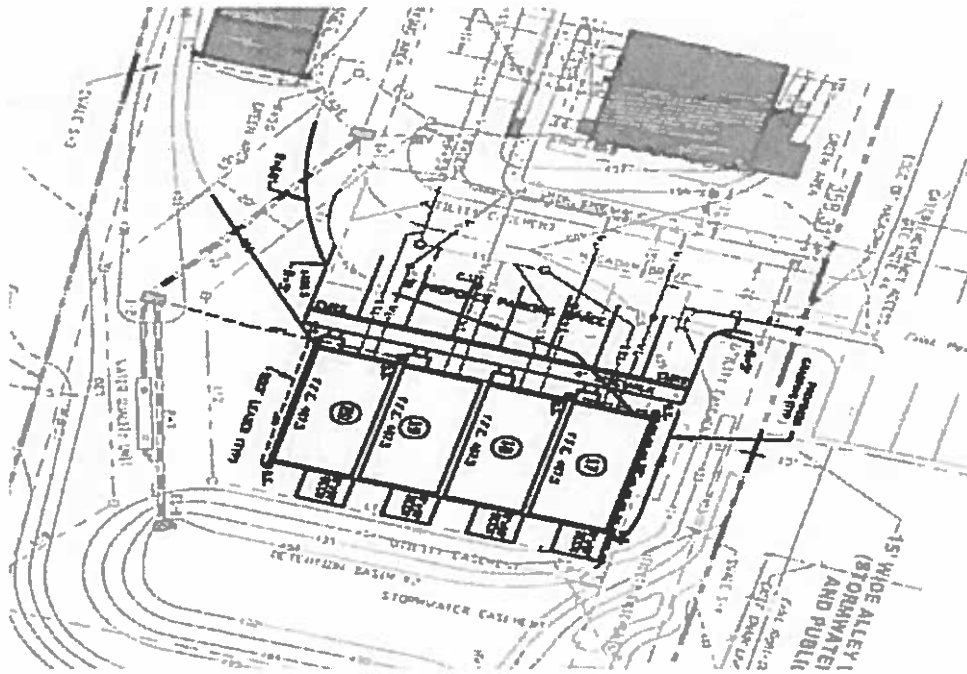
John Rebman

Josh Deering

Tod Dohl, Alternate

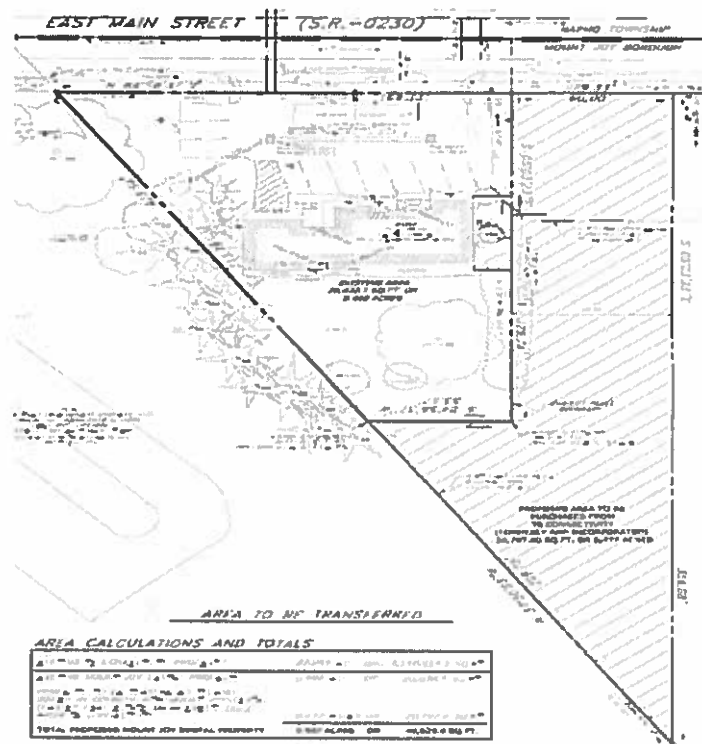
JANUARY 2020

- The Commission reviewed the existing Official Map for possible revisions.
- The Commission recommended approval of a Revised Land Development Plan for Farmview Properties, located on Martin Avenue, Mount Joy, PA, to allow for the change of the proposed duplex unit into 4 townhouse units.

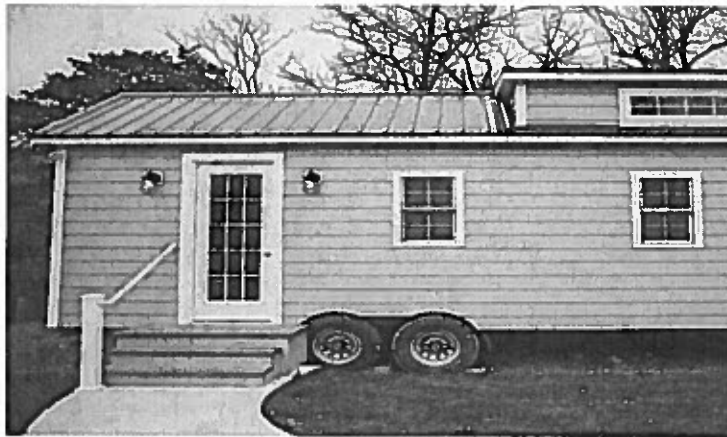


FEBRUARY 2020

- The Commission recommended approval of a Lot Line Change Plan for the subdivision and transfer of 0.48 acres from TE Connectivity located at 1250 E. Main Street, Mount Joy, to Cawley Real Estate Management (Mount Joy Dental Associates) 1210 E. Main Street.



- The Commission discussed possible amendments to Zoning Ordinance for “Tiny Homes.”



MARCH 2020

- The Commission did not take any action on the following:
 - Florin Hill Phase 1 & 2B Revised Subdivision Plan for Blocks F & M. Block F in Phase 1 was to be three (3) single-family dwellings and six (6) smaller cottage/bungalow units on a single lot. The applicant is proposing to replace the 6 cottage/bungalow units with five (5) single family dwellings. Block M in Phase 2B was to be seventeen (17) single-family detached cottage/bungalow units on a single lot. The applicant is proposing to replace the seventeen (17) cottage/bungalow units with ten (10) single-family dwellings.
- The Commission continued discussions on “Tiny Homes.”

APRIL 2020

- No meeting

MAY 2020

- No meeting

JUNE 2020

- No meeting

JULY 2020

- No meeting

AUGUST 2020

- No meeting

SEPTEMBER 2020

- No meeting

OCTOBER 2020

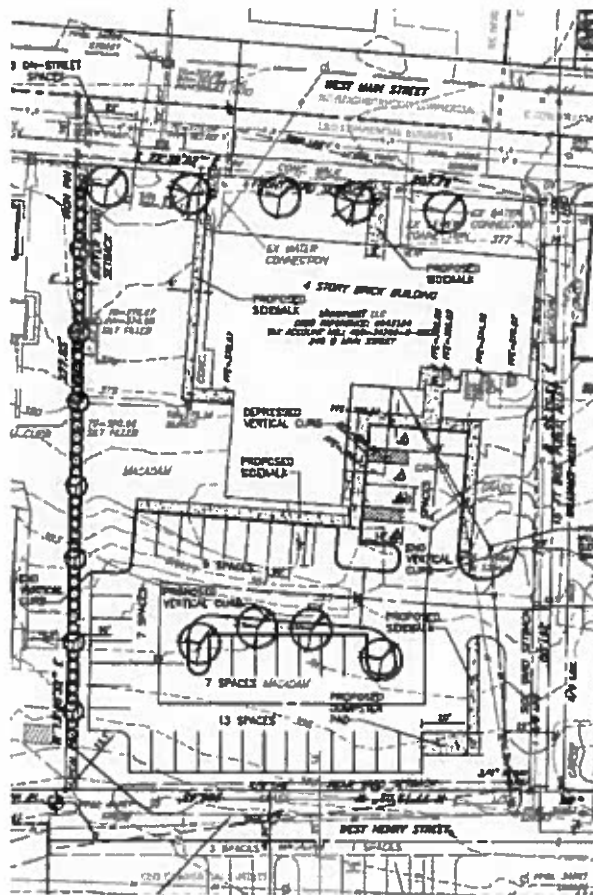
- No meeting.

NOVEMBER 2020

- No meeting

- 7

- The Commission reviewed and provided advisory comments for a Sketch Plan in accordance with Chapter 240, §240-63, to re-develop an existing building into 36 senior housing units consisting of 12 1-bedroom apartments, 24 2-bedroom apartments, 4000-6000 square feet of commercial space on the bottom floor elevation and 40 off-street parking spaces at the property located at 240 W. Main Street, Mount Joy, PA.





**BOROUGH OF MOUNT JOY
PUBLIC WORKS DEPARTMENT
MEMORANDUM**

TO: Casey Kraus, Borough Manager

FROM: Dennis Nissley, Public Works Director

DATE: December 29, 2020

RE: Public Works Department Activities for December 2020

Following is a list of activities for the Public Works Department for December 2020:

- Parks – Equipment and vehicle maintenance
- Parks – Clear sidewalks from 12/16 snowstorm
- Parks – Leaf clean up and collection
- Parks – Facilities and Playground inspections
- Parks – General Parks maintenance
- PW – Leaf collection and processing
- PW – Equipment and vehicle maintenance
- Streets – Snow plowing streets from 12/16 snowstorm
- Stormwater – Inspect inlets and pipes
- Stormwater – Clean stormwater inlets and inspect facilities before and after rain events
- Signs – Repair and replacement as needed
- Compost Site – Monitor new gate system
- Compost Site – Activate and prepare key fobs for residents
- Attend street inspection at Lakes development
- Attend virtual Borough Council meeting
- Attend virtual Public Works Committee meeting
- Attend virtual budget meetings
- Attend staff meetings
- Attend virtual Chiques Creek Management meeting

To: Mount Joy Borough Councilors, Borough Manager Kraus & Mayor Bradley

From: Joseph Ardini

December 2020 Authority Administrator Report

1. Hydropillar/Lumber Street Water Tanks: The contractor has completed the remaining work on the tanks and submitted for final payment. The project is now closed out.
2. Wells #1 & #2 control upgrade:
 - Upgrades to the antenna, controls and electrical cabinet were completed on Well #1.
 - Well #1 was placed back into service.
 - Work on Well #2 is scheduled for January 2021.
3. Clarifier/Thickener Project:
 - The mechanical drive unit was installed on Clarifier #2.
 - Startup and training were conducted on Clarifier #2.
 - Clarifier #2 was placed back into service.
 - Due to the weather, the project will resume in spring of 2021.
4. Springville Road waterline replacement:
 - All work for the project has been completed.
5. Authority staff repaired a watermain break on Sentz Drive. No customers were without water during the repair.

MOUNT JOY BOROUGH
 21 EAST MAIN STREET
 MOUNT JOY, PENNSYLVANIA 17552



From the Office of:
 Mount Joy Borough Interim Borough
 Manager
 Charles M. Kraus, III

INCORPORATED 1851

TELEPHONE (717) 653-2300
 FAX (717) 653-6680
 E-MAIL:
casey@mountjoyva.org

December 2020 Manager's report to Borough Council for the January 4, 2021 meeting

- Attend PW committee meeting
- Attend Admin and Finance committee meeting
- Attend PS committee meeting
- Work on numerous action items as directed by committees
- Finalized ad for hiring Borough Manager and posted on all sites suggested by Councilor Youngerman
- Set up shared folder for manager resumes and gave access to all Council Members. Started receiving resumes.
- Set up and hosted Zoom meetings for all committee meetings
- Worked with our solicitor to finalize an amended Chapter 40-Manager Ordinance and advertised same as required prior to final adoption by Council
- Advertised 2021 meeting dates for Council, Committees, etc.
- A/F Committee will be reviewing and if necessary, making draft changes to the manager job description prior to presentation the full council for their review, and if appropriate, official adoption.
- Proclaimed a snow emergency on December 16 due to close to a foot of snow and rescinded same December 17
- Issued directive to borough staff to bring the borough into compliance with the Governor's and Secretary of Health's COVID-19 Mitigation Orders.
- Worked with Councilor Castaldi and Penn Medicine Outreach staff to set up a webinar on the most up-to-date information on COVID-19 and vaccinations with guest speaker Jeffrey R. Martin, MD, FAAFP.

Casey Kraus

MOUNT JOY BOROUGH
JOB DESCRIPTION

TITLE: Borough Manager

DEPARTMENT: Administration

GENERAL SUMMARY: Under general direction from Borough Council, manage and direct operations to ensure effective delivery of programs and services; facilitate and direct planning for use of land and capital resources to make the Borough an attractive place to live and work; recommend policy and procedures to ensure compliance with laws, regulations, and Borough objectives.

ESSENTIAL DUTIES AND RESPONSIBILITIES:

1. Manage operations of Borough offices; provide leadership and direction to administrative office staff and Public Works Director; provide for training and development of management skills and evaluate job performance, provide feedback and direction concerning goals, priorities, and objectives; communicate policy, establish workplace policies to provide overall consistency in operations; approve leave, resolve workplace problems. Administer discipline, recommend pay adjustments; hire and discharge, with the advice and consent of Council.
2. Provide administrative leadership in areas of planning, budgeting, reporting and grants; meet with Council to review short and long range goals, priorities, requirements and constraints; meet with staff, community and government representatives to communicate and gather feedback, build working relationships and facilitate planning and development of objectives to work toward completion of capital projects and goals.
3. Manage and direct budget development and forecasting; monitor budget, including expenses and revenue collection; develop and implement spending plans for general obligation or revenue bonds; develop budget parameters and administer monetary operational limits for various municipal program; assure effective and efficient use of budgeted funds, personnel, materials, facilities and time; develop investment strategies.
4. Engage in public relations activities; resolve questions and complaints from citizens, or direct to appropriate staff person; develop plans to communicate issues to the public.
5. Serve as primary liaison to Borough Council; compile agenda for meeting, attend meetings to provide advice and information; serve as liaison between Borough Council and Authorities, Commissions and Committees.
6. Ensure duties of Borough Secretary are performed, as outlined by the Pennsylvania Borough Code; attend meetings of the council and other meetings as directed by Council. Inform council and the public of all meetings of council.

7. Perform related duties:

a. Prepare or direct the preparation of proposals, studies, and reports to support development of projects and services; consider needs, structure of operations, level of funding, staffing, community goals and risk; examine legal boundaries and impact on codes, insurances, bonds, and audits; determine and establish priorities; research and procure grant monies; monitor and manage state or federal grants.

b. Manage areas relating to community development; guide and facilitate process to accomplish comprehensive plan; communicate process to the public; plan for future development to provide for controlled growth and expansion of public services; recommend regulations to control location and development of residential and commercial areas.

c. Serve as Purchasing Officer for the Borough; establish system to approve purchases of supplies and equipment; establish rules and regulations governing requisition and purchasing; enter in contracts as approved by Borough Council and monitor compliance with contracts; review and/or write bid specifications for the purchase of new equipment, supplies or services.

d. Manage maintenance of Borough facilities and property; direct maintenance activities, and activities related to improvement or replacement of facilities and property; ensure provisions of franchises, leases, permits and privileges and other contractual rights of Borough are observed.

e. Research and develop projects, e.g., develop fee schedules, project budgets, ordinance amendments; serve as liaison and provide briefings on community organization meetings; execute routine decisions and facilitate decision making of non-routine issues with key borough employees and the Council to accomplish ongoing business.

f. Serve as Borough Open Records Officer for PA Right to Know Law; respond to requests for information or ensure response is provided.

g. Participate in training for emergency management response.

JOB SPECIFICATIONS:

*indicates developed after employment

Education/Employment: Any combination of education and experience which indicates possession of the skills, knowledge and abilities listed below. An example of acceptable qualifications for this position is completion of bachelor's in public administration, or a combination of education and extensive experience in municipal government management.

Must also complete National Incident Management System (NIMS) training:

- ICS-700: NIMS, An Introduction
- ICS-100: Introduction to the Incident Command System
- ICS-200: ICS for Single Resources and Initial Action Incidents

Knowledge:

- ☐ Comprehensive knowledge of public administration principles and practices
- ☐ Comprehensive knowledge of budgeting
- ☐ Comprehensive knowledge of Borough code, and state and federal laws affecting Boroughs
- ☐ Comprehensive knowledge of borough zoning, building, property maintenance, solid waste, health and safety, taxation, tree, storm water management, and land development codes
- ☐ Comprehensive knowledge of local ordinances and physical features of Borough*
- ☐ Comprehensive knowledge of government process and structure
- ☐ Comprehensive knowledge of management theory and practice

Skill:

Computer operation

Abilities:

- ☐ Ability to navigate complex issues and share understanding with others
- ☐ Ability to inspire trust to ensure input is viewed as unbiased and accurate
- ☐ Ability to promote high morale as leader and manager of an organization
- ☐ Ability to manage complex projects
- ☐ Ability to facilitate long range planning within a collaborative framework
- ☐ Ability to communicate effectively and persuasively in writing and orally
- ☐ Ability to build relationships to strengthen community partnerships
- ☐ Ability to promote accountability for completion of goals and objectives
- ☐ Ability to apply management and supervisory principles to solve practical, everyday problems
- ☐ Ability to establish effective relationships with employees, management staff, elected officials, members of the public, representatives of government regulatory agencies, vendors, and representatives of outside firms providing services for the Borough
- ☐ Ability to prepare reports and present facts and ideas in a clear and organized fashion

- ☐ Ability to effectively resolve complaints through proper investigation, mediation and/or action to correct problem
- ☐ Ability to develop relationships to promote a vibrant and sustainable community

Working Conditions:

Work is performed in normal but busy office environment. Attendance at evening meetings is frequently required. Travel to various facilities and project sites, and meetings outside the borough is frequently required. Work involves interacting with residents, vendors, employees, and various professionals. Position requires an ability to communicate clearly, and bring people with varying interests together to work towards the best community possible.

DISCLAIMER:

The above statements are intended to describe the general nature and level of work being performed by a person assigned to this position. They are not intended to be construed as an exhaustive list of all responsibilities, duties and skills required to perform the job.

REPORTS TO: Borough Council

FLSA STATUS: Exempt

DATE: December 2020

This job description is subject to change

BOROUGH MANAGER: Mount Joy Borough (pop. 7,400; 2.3 square miles) is seeking applicants for a Borough Manager. Salary commensurate with qualifications and experience. For a complete job description and application requirements please visit borough's web site at <http://mountjoyborough.com/employment/>. For confidential consideration, send cover letter, resume, and three references which will be contacted, to managerapps2021@mountjoy.org, subject line: Borough Manager Search
Deadline for applications is 4:00 PM January 29, 2021

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISK
JASON M. HESS

P. O. BOX 4686
LANCASTER, PENNSYLVANIA 17604-4686
WWW.MHCK.COM

RETIRED
CARL R. HALLGREN
MICHAEL P. KANE
700 NORTH DUKE STREET
TELEPHONE 299-5251
AREA CODE 717

FAX (717) 299-6170
E-MAIL: attorneys@mhck.com

December 18, 2020

VIA E-MAIL

Charles M. Kraus, III, Borough Manager
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552

Re: Borough Manager Ordinance
Our File No. 16724

Dear Casey:

I have reformatted the materials which you prepared relating to Chapter 40, Manager, of the Code of Ordinances to include the language necessary to amend the Code of Ordinances. I have also advertised the proposed ordinance for consideration at Council's meeting on Monday, January 4, 2021. Attached please find a copy of the summary legal advertisement together with a copy of our letter to LNP Media Group, Inc., requesting that the advertisement be published in accordance with the requirements of the Borough Code.

Attached please find a copy of the proposed ordinance. If the ordinance is enacted by Borough Council, please ensure that the ordinance number is inserted on page 1 of the original and one copy. Please also ensure that the ordinance is properly signed by the President or Vice President of Borough Council and the Mayor. You should attest to these signatures as Borough Secretary and affix the Borough Seal on the last page of the ordinance. Please complete a certification page for the copy and return it to me. Because only a summary of the ordinance was advertised, the Borough Code requires that a certified copy be filed at the Lancaster County Courthouse, and we will file the certified copy following receipt thereof from the Borough. We will then retain this copy for our files.

If you have any questions concerning this matter, please contact me.

Very truly yours,


Josele Cleary

JC:sle
MUNI\16724(9a)\201218\2\71

Attachments

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISK
JASON M. HESS

LAW OFFICES
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700 NORTH DUKE STREET
TELEPHONE 299-5251
AREA CODE 717

FAX (717) 299-6170
E-MAIL: attorneys@mhck.com

December 18, 2020

VIA E-MAIL

LNP Media Group, Inc.
8 West King Street
P. O. Box 1328
Lancaster, PA 17608-1328

Re: Borough Manager Ordinance/Mount Joy Borough
Our File No. 16724

Dear Sir or Madam:

Please publish the following legal notice in the Wednesday, December 23, 2020, edition of LNP. Thereafter, please send the proof of publication for the advertisement and your invoice directly to the following person:

Charles M. Kraus, III, Borough Manager
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552
717-653-2300

I am also attaching a pdf version of the full text of the proposed Ordinance to which the enclosed legal notice relates as required by the Borough Code. The full text of the proposed Ordinance should be available for public inspection by anyone who cares to do so. If you have any questions, please contact me.

Very truly yours,

Josele Cleary

JC:sle
MUNI\16724(9a)\201218\2\71

Attachments

cc: Mount Joy Borough (w/enclosures)

Notice is hereby given that Mount Joy Borough Council at its meeting on Monday, January 4, 2021, at 7:00 p.m., at the Mount Joy Borough Municipal Building, 21 East Main Street, Mount Joy, Pennsylvania, shall consider, and, if appropriate, at that meeting or at a subsequent meeting held within 60 days of the date of publication of this advertisement, shall enact an ordinance, the caption of which is as follows:

AN ORDINANCE TO AMEND THE CODE OF ORDINANCES OF MOUNT JOY BOROUGH TO REVISE AND RESTATE CHAPTER 40, MANAGER.

The proposed ordinance may be summarized as follows: Section 1 updates provisions concerning compensation and powers and duties of the Manager and restates all other provisions of Chapter 40, Manager, of the Code of Ordinances. Sections 2 – 4 reaffirm all other parts and provisions of the Code of Ordinances, provide for severability of any invalid provisions, and set forth the effective date. A copy may be examined without charge at the offices of this newspaper and at the Mount Joy Borough Municipal Building, 21 East Main Street, Mount Joy, Pennsylvania, Mondays through Fridays from 7:00 a.m. until 4:00 p.m. A copy of the proposed ordinance may be obtained for the cost of reproduction at the Mount Joy Borough Municipal Building during the above hours.

**MORGAN, HALLGREN, CROSSWELL &
KANE, P.C.**
Mount Joy Borough Solicitor

Borough of Mount Joy, PA
Thursday, November 12, 2020

Chapter 240. Subdivision and Land Development

Article III. Plan Processing Procedure

§ 240-26. Final plans and preliminary/final plans.

A. When required.

- (1) When all conditions of approval required by the preliminary plan approval have been obtained as required by this chapter, the developer may prepare a final plan in accordance with § 240-65 showing all lot lines, improvements and other features of the subdivision or land development.
- (2) When a preliminary plan is not required by this chapter, the developer may prepare a preliminary/final plan in accordance with § 240-65 showing all lot lines, improvements and other features of the subdivision or land development.

B. Submission and approval.

- (1) The number of copies and the type of copies of a final or preliminary/final plan to be submitted shall be in accordance with the requirements in § 240-25B. The plans and accompanying documents shall be submitted to the Borough Secretary.
- (2) The final or preliminary/final plan shall be reviewed and acted upon in accordance with the procedure set forth in § 240-25D through § 240-25J.

C. Satisfaction of conditions. If the Council conditions its final plan approval upon receipt of additional information, changes, or notifications, such data shall be submitted or plan alterations noted on two paper copies of the plan submitted to the Council for approval. Such data shall be submitted to the Council within 180 days of its conditional approval, unless the Council grants a waiver by extending the effective time period.

D. Certification. After approval by the Council and satisfaction of conditions, five reproducible copies of the sizes and type specified by the Recorder of Deeds shall be submitted to the Borough Secretary, accompanied by an application for signature. The developer shall also provide one electronic copy of the final or preliminary/final plan in the format specified by the Borough Engineer. Final and preliminary/final plans shall not be signed by the Council if submitted more than 90 days from the Council's final approval action unless the Council grants a waiver extending the effective time period for approval.

E. The entire preliminary plan need not be submitted as a final plan. The final plan may be submitted in sections, each covering a portion of the entire proposed subdivision shown on the preliminary plan. The Council may determine what constitutes a logical section in keeping with the best interests of the Borough.

F. If the entire preliminary plan is not submitted as a final plan and thus not approved or recorded as a final plan within one year from the approval of the preliminary plan, the Commission shall determine, as final plans are submitted, that conditions have or have not changed since the time

11/12/2020

Borough of Mount Joy, PA Ecode360

of the preliminary plan approval to require the submission of another preliminary plan before considering the final plan for approval.

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISKI
JASON M. HESS

LAW OFFICES
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TELEPHONE 299-3251
AREA CODE 717
FAX (717) 299-6170
E-MAIL: attorneys@mhck.com

September 19, 2020

VIA E-MAIL

Jeffrey A. Shyk, RLA
K & W Engineers
2201 North Front Street
Suite 200
Harrisburg, PA 17110

Re: Florin Hill/Calculation of Open Space
Our File No. 16724-3

Dear Mr. Shyk:

I received the materials which you forwarded relating to the calculation of open space within the Florin Hill development. You acknowledge that you conducted that work without having a copy of the 2006 conditional use decision. Please note that there were numerous conditional use decisions regarding the Florin Hill development, all of which have been provided to the developer. Your firm has prepared plans relating to Florin Hill in the past, and if I understand your e-mail those plans were prepared without verifying compliance with the conditional use decisions. If additional plans for Florin Hill are filed and if they are to be considered under those conditional use decisions, the conditional use decisions should be reviewed.

For the purposes of the pending Revised Subdivision Plan – Blocks F & M Florin Hill Phase 1 and 2B (the “Plan”) the Borough will accept your calculation of the total amount of open space provided within Florin Hill to date. Please provide a full paper set of the Plan to the Borough. If you require further information on what needs to be submitted please contact Stacie Gibbs.

It appears from your e-mail that you have added up what was designated as open space shown on previously recorded plans and have determined that the amount of open space totals 8.761 acres. Your e-mail states that “the owner believes that the newly created open spaces are generally consistent with other areas of approved open space in terms of size and shape that have been included with the plans since the beginning of the project.” While I do not doubt that the areas shown as open space on the most recent Plan are consistent with some open space shown on prior plans, I am not aware of a determination that all of the open space area on the prior plans were reviewed and approved to be counted toward the minimum amount of open space within Florin Hill meeting the requirements of the then in effect Zoning Ordinance and conditional use decisions.

There is no limit on the amount of open space a developer can provide. For Florin Hill, there is a minimum amount of open space over the entire development which must to meet certain

Jeffrey A. Shyk, RLA
September 19, 2020
Page 2

characteristics. The Developer could provide 20 acres of open space but still not meet the requirement to provide 9.19 acres comprised of the central commons and other areas shown on Sheet 3 of the plan presented to Borough Council at the conditional use hearing held on August 29, 2006. Your e-mail stated that you had a copy of a plan which you designated as "FH 06.06.13 Revised Ph 1 03". The Plan which was submitted to Borough Council was the Revised Master Site Plan for Florin Hill dated February 6, 2006, last revised July 6, 2006, with Sheet 6 of 6 last revised July 18, 2006 (the "Revised Master Site Plan"). The Revised Master Site Plan presented to Council was prepared by First Capital Engineering identified as Project No. 180-2. As indicated above, if further plans are submitted and if those further plans are to be considered under the conditional use decisions and now-repealed Zoning Ordinance, the subsequent plans should demonstrate compliance with the conditional use decisions and the incorporated Revised Master Site Plan presented to Borough Council.

Very truly yours,



Josele Cleary

JC:sle
MUNI\16724-3(1)\200918\71

cc: Stacie M. Gibbs, Zoning Officer (via e-mail)



Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

October 21, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

RE: Florin Hill Development Phase 1 and 2B
Revised Subdivision Plan – Blocks F and M
ARRO #10863.32

Dear Stacie:

ARRO Consulting, Inc. reviewed the following information in accordance with the Mount Joy Borough Subdivision and Land Development Ordinance and ARRO's September 28, 2020 review letter.

1. Revised Subdivision Plan – Blocks F and M for Florin Hill Phase 1 and 2B (Sheets 1 - 14 of 14), prepared by Kurowski & Wilson, LLC (K&W) with Project No. 2049.046, dated December 11, 2019, last revised October 20, 2020.
2. Preliminary Opinion of Probable Construction Costs prepared by Kurowski & Wilson, LLC (K&W), dated August 11, 2020, last revised October 12, 2020.
3. Comment response letter from Jeffrey A. Shyk, RLA of Kurowski & Wilson, LLC (K&W) dated October 20, 2020.

We offer the following comments:

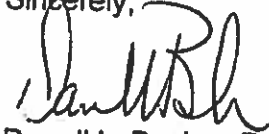
1. The comments from ARRO's September 28, 2020 review letter have been addressed.
2. The attached Opinion of Probable Construction Costs is acceptable. Therefore, we recommend the construction financial security be established in the amount of \$196,727.85 which includes a 10% contingency permitted by the Pennsylvania Municipalities Planning Code.

OUT IN FRONT The logo for "OUT IN FRONT" features the text in a bold, sans-serif font, followed by a stylized graphic element resembling a checkmark or a right-pointing arrow.

Stacie Gibbs, BCO
Mount Joy Borough
October 21, 2020
Page 2

Please call me at 717-560-6065 if you have questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Darrell L. Becker".

Darrell L. Becker, P.E.
Vice President

DLB:acb

Enclosure

- c: Casey Kraus, Interim Manager – Mount Joy Borough (via email)
Josele Cleary, Esquire – Morgan Hallgren Crosswell & Kane (via email)
Jeffrey A. Shyk, RLA – K&W Engineers (via email)
Anthony Faranda-Dietrich – Carter Homes (via email)



1321 North Fox Street Suite 200
Harrisburg PA 17110
717-625-2825 fax 717-625-2826
kandwdesign.com

PRELIMINARY OPINION OF PROBABLE CONSTRUCTION COSTS

CLIENT: Charter Homes and Neighborhoods
PROJECT NAME: Florin Hill Revised Phases 1 and 2B
PROJECT NUMBER: 2049.046

PREPARER: KGC
DATE: 8/11/2020
REVISED: 10/12/2020

<u>E&S CONTROLS</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
8" Silt Filter Sock	40	L.F.	x	\$6.00	=	\$240.00
12" Silt Filter Sock	1107	L.F.	x	\$7.50	=	\$8,302.50
Type M Inlet Protection (Filter Bag)	14	EA	x	\$300.00	=	\$4,200.00
Erosion Control Matting	985	S.Y.	x	\$1.50	=	\$1,477.50
Permanent Seeding (Formula B)	7200	S.Y.	x	\$0.50	=	\$3,600.00
Erosion Control Maintenance	1	L.S.	x	\$2,500.00	=	\$2,500.00
E&S CONTROLS TOTAL						\$20,320.00

<u>SITE DEMOLITION</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
Tree Removal (12" - 30" Dia.)	6	EA	x	\$400.00	=	\$2,400.00
Demo Concrete Pavement and Walk	22	S.Y.	x	\$15.00	=	\$330.00
Remove Curb	540	L.F.	x	\$4.00	=	\$2,160.00
Remove Retaining Wall	38	S.F.	x	\$25.00	=	\$950.00
SITE DEMOLITION TOTAL						\$5,840.00

<u>PAVEMENT AND ASSOC. IMPROVEMENTS</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
Standard Duty Paving (2", 4", 6")	1530	S.Y.	x	\$36.00	=	\$55,080.00
Concrete Sidewalk	4180	S.F.	x	\$7.00	=	\$29,260.00
Vertical Curb w/ grading and backfill	617	L.F.	x	\$16.00	=	\$9,872.00
ADA Signage and Pavement Markings	1	L.S.	x	\$500.00	=	\$500.00
PAVEMENT AND ASSOCIATED IMPROVEMENTS TOTAL						\$94,712.00

<u>STORMWATER MANAGEMENT</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
HDPE Pipe 15"	91	L.F.	x	\$47.50	=	\$4,322.50
HDPE Pipe 18"	176	L.F.	x	\$60.00	=	\$10,560.00
Type 'C' Inlet	1	EA	x	\$1,859.00	=	\$1,859.00
Yard Drain	1	EA	x	\$1,400.00	=	\$1,400.00
Type 'M' Inlet	4	EA	x	\$2,000.00	=	\$8,000.00
STORMWATER MANAGEMENT TOTAL						\$26,141.50

<u>MISCELLANEOUS SITE IMPROVEMENTS</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
42" Guardrail	135	L.F.	x	\$38.00	=	\$5,130.00
Extend Boulder Wall (South of Sagamore Hill)	1	L.S.	x	\$5,000.00	=	\$5,000.00
Block Retaining Wall (North of Sagamore Hill)	300	S.F.	x	\$35.00	=	\$10,500.00
MISCELLANEOUS SITE IMPROVEMENTS TOTAL						\$20,630.00

<u>LANDSCAPING</u>	<u>Quantity</u>	<u>Unit</u>		<u>Unit Price</u>		<u>Total</u>
Deciduous Tree	9	EA	x	\$400.00	=	\$3,600.00
LANDSCAPING TOTAL						\$11,200.00



2724 North Texas Street, Suite 200
Vancouver, WA 98110
206.435.1839 fax 206.435.2639
kandwdesign.com

PRELIMINARY OPINION OF PROBABLE CONSTRUCTION COSTS

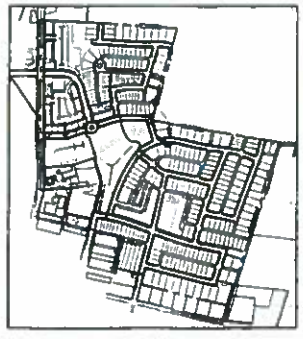
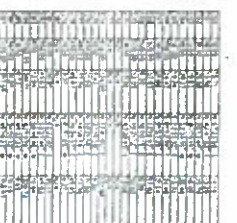
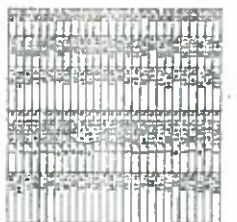
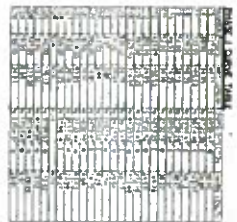
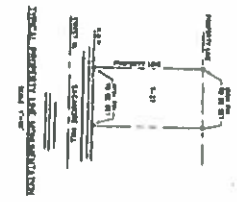
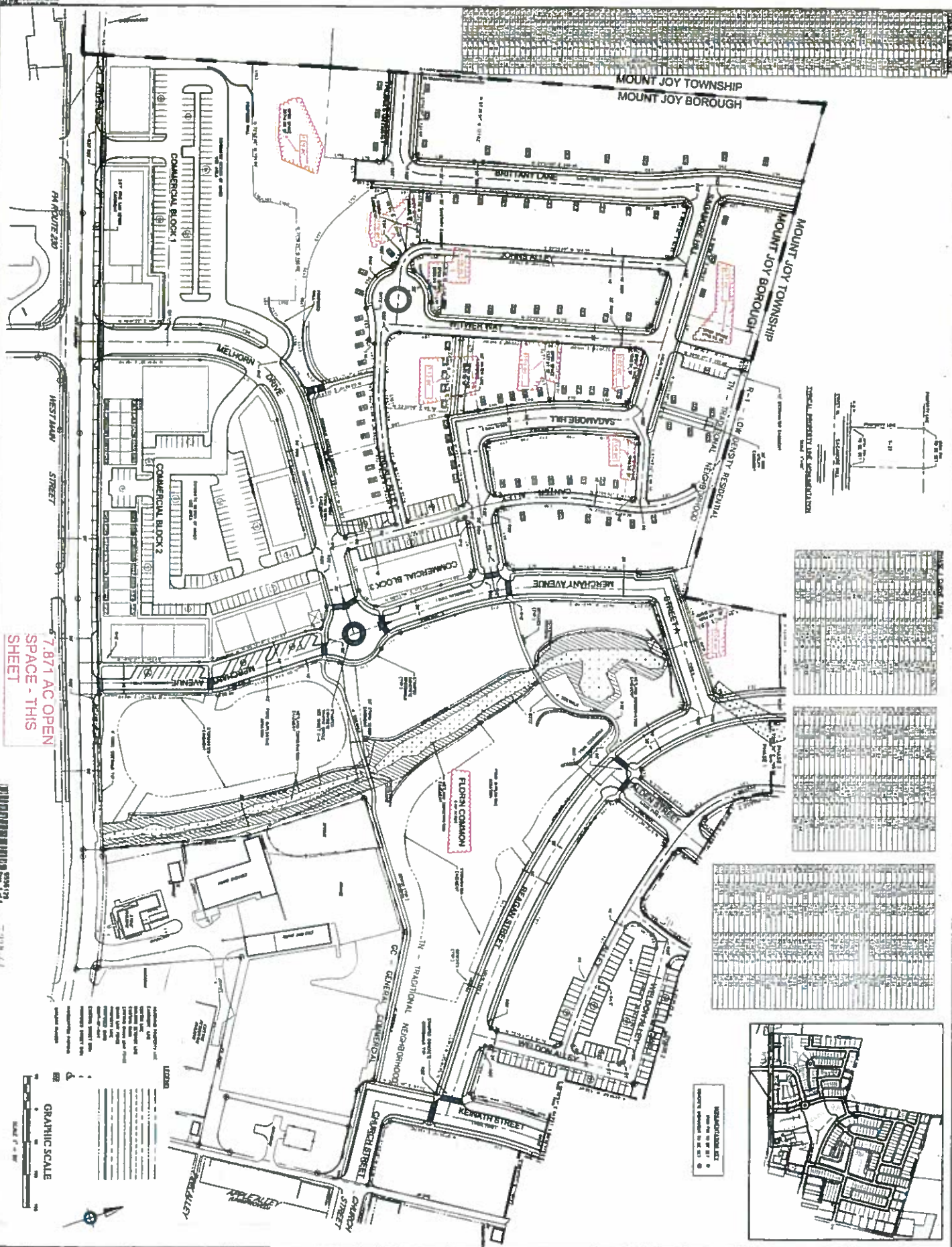
CLIENT: Charter Homes and Neighborhoods
PROJECT NAME: Florin Hill Revised Phases 1 and 2B
PROJECT NUMBER: 2049.046

PREPARER: KGC
DATE: 8/11/2020
REVISED: 10/12/2020

E&S CONTROLS TOTAL	=	\$20,320.00
SITE DEMOLITION TOTAL	=	\$5,840.00
PAVEMENT AND ASSOCIATED IMPROVEMENTS TOTAL	=	\$94,712.00
STORMWATER MANAGEMENT TOTAL	=	\$26,141.50
MISCELLANEOUS SITE IMPROVEMENTS TOTAL	=	\$20,630.00
LANDSCAPING TOTAL	=	\$11,200.00
ESTIMATED SITEWORK CONSTRUCTION COST - SUBTOTAL	=	\$178,843.50
Contingency	10% =	\$17,884.35
ESTIMATED SITEWORK CONSTRUCTION COST - TOTAL		\$196,727.85

NOTES:

- 1) Depressed Curb and Transitional Curb included in Vertical Curb estimate.
- 2) Average height of 3 feet was used in estimating cost of Block Retaining Wall.



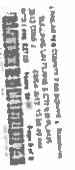
FLORIN HILL
REVISED FINAL SUBDIVISION PLAN PHASE I
BOROUGH OF MOUNT JOY
FLORIN HILL PARTNERSHIP
PHASE I SITE PLAN

FIRST CAPITAL ENGINEERING
40 South Bedford Avenue
P.O. Box 17000
Pittsburgh, PA 15240
Phone: 412-261-1100
Fax: 412-261-1101
www.firstcapitaleng.com

SHEET C-3A

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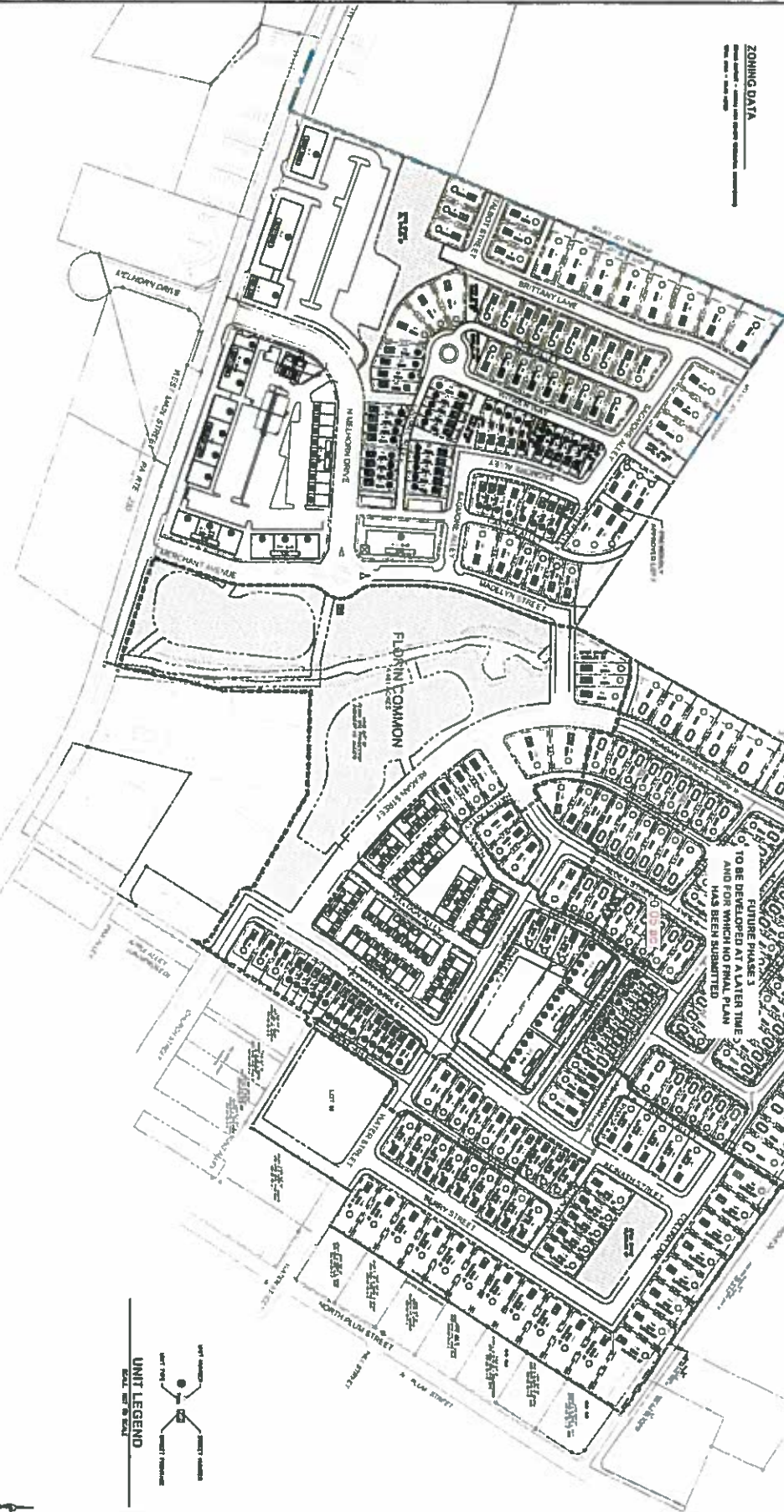
Environmental Impact Statement (EIS) for the proposed development of the Florin Hill Park. The EIS is a comprehensive study of the potential impacts of the proposed development on the environment. It includes a description of the project, an analysis of the potential impacts, and a plan to avoid, minimize, and compensate for the impacts. The EIS is a key document in the decision-making process for the proposed development.

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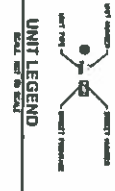


ZONING DATA
 The project is located within the Mount Joy Township Zoning Ordinance, which is currently under review. The project is located within the Mount Joy Township Zoning Ordinance, which is currently under review.

UNIT TYPE		BLOCK											
		A	B	C	D	E	F	G	H	I	J	K	L
		TOTAL											
Single-Family Detached	1	1	1	1	1	1	1	1	1	1	1	1	1
Single-Family Attached	2	2	2	2	2	2	2	2	2	2	2	2	2
Multi-Family Detached	3	3	3	3	3	3	3	3	3	3	3	3	3
Multi-Family Attached	4	4	4	4	4	4	4	4	4	4	4	4	4
Commercial	5	5	5	5	5	5	5	5	5	5	5	5	5
Industrial	6	6	6	6	6	6	6	6	6	6	6	6	6
Public Use	7	7	7	7	7	7	7	7	7	7	7	7	7
Other	8	8	8	8	8	8	8	8	8	8	8	8	8
TOTAL		120											



FUTURE PHASE 3
 OPEN SPACE = 0.26 AC



REVISED SUBDIVISION PLAN - BLOCKS F AND M
FLORIN HILL PHASE 1 AND 2B
 FOR
FLORIN HILL PARTNERSHIP



NO.	DESCRIPTION	DATE
1	PRELIMINARY PLAN	11/11/08
2	REVISED PLAN	11/11/08
3	REVISED PLAN	11/11/08
4	REVISED PLAN	11/11/08
5	REVISED PLAN	11/11/08
6	REVISED PLAN	11/11/08
7	REVISED PLAN	11/11/08
8	REVISED PLAN	11/11/08
9	REVISED PLAN	11/11/08
10	REVISED PLAN	11/11/08



5 CAL
5 CAL

[illegible]

SITE PLAN NOTES

1

END

संस्था

BRUNNEN MALZER
BRUNNEN MALZER

INDEX

2007-12-12

1

2

ADONIS 0001-701X

QUALITY MOVEMENT

UNUSUAL PAYMENT

2007/02/27

2

2000

FOR THE FUTURE

1997

**FLORIN HILL PHASE 1 AND 2B
FOR
FLORIN HILL PARTNERSHIP**

LANCASTER COUNTY, PA

**SITE PLAN -
BLOCK F**

	DESCRIPTION
	FIR BORON
	FIR BORON
	MAY-LED FIR
	REVISED FIR
	REVISOR: JEFFREY A. HARRIS

ADVERTISEMENTS
PROPERTY COMMENTS
MORTGAGE AND RENT
MORTGAGE AND RENT

1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32	33	34	35	36	37	38	39	40	41	42	43	44	45	46	47	48	49	50	51	52	53	54	55	56	57	58	59	60	61	62	63	64	65	66	67	68	69	70	71	72	73	74	75	76	77	78	79	80	81	82	83	84	85	86	87	88	89	90	91	92	93	94	95	96	97	98	99	100
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Fig. 13. U_{eff}/U_0 vs. U_0 for $\alpha = 0.35$ and $\beta = 0.1$.

1111

EVIS

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FOR

BLO

AND

B

$\frac{1}{2} \times 10^{-6}$ m





Surveyors - Engineers - Landscape Architects

10-3

November 25, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Mount Joy Borough
21 E. Main Street
Mount Joy, PA 17552

SUBJECT: Erb's Construction
Land Development Waiver Request Letter
DCG Project Number 3657-01

Dear Ms. Gibbs:

On behalf of our client, Erb's Construction, we are requesting a waiver for land development for the proposed site improvements located at 104 Rear Fairview Street.

Currently, there is an existing building and gravel areas on the property. The majority of the site is impervious coverage. The project will consist of renovating the existing building, adding a building expansion, and constructing a fence. The property is currently used by Erb's Construction for storage. The renovated building and building addition will provide additional storage for Erb's Construction inside of the building. There is no increase in traffic. There are two parking spaces provided; however, Shawn Erb will be the main user of the parking space. There are no retail sales and no visitors to the site. There is no increase in impervious and stormwater management is not required. The site access will continue to be from Brady's Alley.

At a meeting on November 18, 2020, the Mount Joy Zoning Hearing Board rendered a decision approving the Special Exception of Section 270-115.C.(3)(a) to expand the existing non-conforming storage building by more than 25% in total floor area and Variances of the following sections: Section 270-47.A for setbacks, lot area, and building coverage; Section 270-83.E.(2) for required parking areas to be surfaced with asphalt, concrete, or paving blocks; and Section 270-113.D.(2).a.(1) for a buffer yard. The proposed improvements meet all other requirements of the Borough ordinances.

Sincerely,

D. C. GOHN ASSOCIATES, INC.

Brian R. Cooley

Brian R. Cooley
Staff Landscape Architect

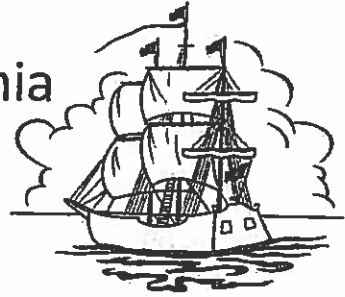
cc: Erb's Construction
File

MOUNT JOY BOROUGH

Lancaster County, Pennsylvania

21 E. Main Street, Mount Joy, PA 17552

717-653-2300 • 717-653-6680 fax



Tax Parcel # 450-7503400000

Mount Joy Borough File No. 200004

SUBDIVISION-LAND DEVELOPMENT WAIVER REQUEST FORM

TO: Mount Joy Borough Planning Commission

Applicant: SHAWN ERB

Property Owner: SHAWN ERB

Address: 221 W. HENRY ST. MT. JOY

Address: 221 W. HENRY STREET, MT. JOY

Phone #: 717-468-0078

Phone #: 717-468-0078

E-mail: SHAWN ERB @ COMCAST. NET

E-mail: SHAWNERB @ COMCAST. NET

Location of Project:

104 REAR FAIRVIEW STREET, MT. JOY

Description of Project:

CONSTRUCT AN ADDITION TO THE EXISTING BUILDING AND CLOSE
IN THE EAST SIDE OF THE BUILDING. INSTALL NEW ROOFING AND GARAGE DOORS.
INSTALL A FENCE FOR SECURITY. AS PER PLANS SUBMITTED

I hereby request a waiver of having to prepare, submit and gain approval of a subdivision/land development plan, pursuant to the provisions contained in/at Chapter 240, Article III of the Code of Ordinances of Mount Joy Borough, i.e. the Mount Joy Borough Subdivision and Land Development Ordinance, as amended.

By virtue of my signature upon this form, I hereby acknowledge and agree to reimburse Mount Joy Borough for the actual engineering and legal costs, including any inspection costs, incurred by the Borough for the review of this waiver request/project.

[Signature]

11-24-2020

Signature

Date

LAW OFFICES

MORGAN, HALLGREN, CROSSWELL & KANE, P.C.

P. O. BOX 4686

LANCASTER, PENNSYLVANIA 17604-4686

WWW.MHCK.COM

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISCO
JASON M. HESS

RETIRED

CARL R. HALLGREN
MICHAEL P. KANE

700 NORTH DUKE STREET
TELEPHONE 299-5251
AREA CODE 717

FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

November 30, 2020

VIA E-MAIL

Stacie M. Gibbs, Zoning Officer
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552

Re: Site Plan for Erb's Construction
Our File No. 16724-3

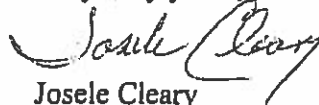
Dear Stacie:

I have reviewed the information submitted by Brian Cooley of D. C. Gohn Associates, Inc. concerning the Site Plan for Erb's Construction (the "Plan"). The Plan is for an existing lot held by Shawn Erb and Jill Erb ("Landowners") identified as 104 Rear Fairview Street (the "Property"). The Property is presently covered with impervious surface and a block building. Landowners propose to construct additions to and extensions of the existing building and a fence. Landowners have obtained variances for the expansion of a nonconforming use and dimensional variances relating to their proposal from the Zoning Hearing Board.

Landowners have requested that Borough Council waive the requirements of the Subdivision and Land Development Ordinance ("SALDO") to file, obtain approval of, and record a land development plan. Given that there is no new use, no new street access, and no change in the configuration of the Property, such request appears acceptable. We recommend that Council condition such waivers upon construction in compliance with the Plan and compliance with the Uniform Construction Code. Because no increase in impervious surface coverage is proposed, there is no need to condition the waivers on compliance with the Storm Water Management Ordinance.

If you have any questions concerning this matter, please contact me.

Very truly yours,


Josele Cleary

JC:sle
MUNI16724-3\201130\71

cc: Brian R. Cooley, Landscape Architect (via e-mail)
Darrell L. Becker, P.E. (via e-mail)

10-g



December 2, 2020

Ms. Stacie M. Gibbs, BCO
Zoning/Code Officer
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552

Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

RE: Erb's Construction
Land Development Waiver Request
ARRO #10863.40

Dear Stacie:

ARRO Consulting, Inc. reviewed the following information prepared and submitted by D.C. Gohn Associates, Inc.

1. Land development waiver request letter dated November 25, 2020,
2. Site plan (Sheet 1 of 1) for Erb's Construction with Project No. 3057-01, Drawing No. CG-3046 and dated November 25, 2020.

We offer the following comments:

1. The proposed project includes the removal of 221 s.f. of the existing building footprint and the addition of 1,536 s.f. to the existing building footprint.
2. This project meets the Subdivision and Land Development Ordinance definition of "New Development" which state, in part, "A project involving the ...enlargement of any structure or building.... New developments have the potential of... requiring either approval of a plan pursuant to this chapter, issuing of a building or zoning permit..."
3. This project also meets the Subdivision and Land Development Ordinance definition of "Land Development: which states, in part, "The improvement of one lot or two or more contiguous lots, tracts or parcels of land for any purpose involving: (1)....A single nonresidential building on a lot...."
4. Even though this project meets the definitions described above it will not adversely affect adjacent properties or increase stormwater runoff because the property is currently covered with compacted stone. Also, the proposed work can be approved by issuing a building or zoning permit. Therefore, I recommend granting the requested waiver of land development.

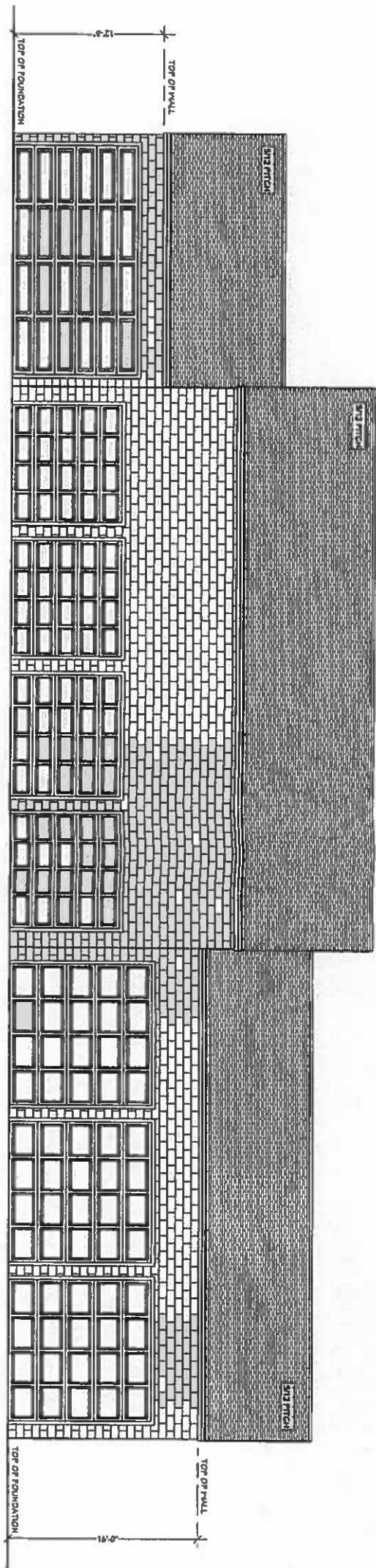
Please call me at 717-560-6065 if you have questions.

Sincerely,

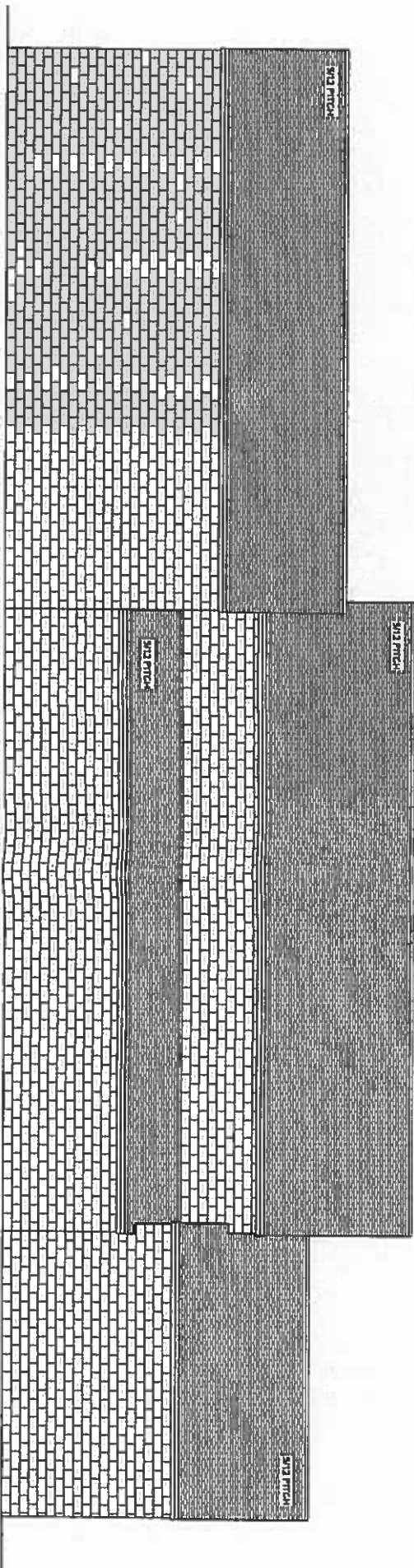
Darrell L. Becker, P.E.
Vice President

DLB:acb

C: Casey Kraus, Manager - Mount Joy Borough
Joselle Cleary, Equire - Morgan, Hallgren, Crosswell & Kane PC
Brian Cooley, ASLA - D. C. Gohn Associates, Inc.



FRONT



REAR

DESIGNER:
KINDREW
HOME DESIGN

BUILDER:
ERB'S
CONSTRUCTION

ADDRESS:
104 REAR FAIRVIEW ST.
MOUNT JOY PA

DATE REVISED:

10/16/2020

SCALE:

1/4" = 1'-0"

PAGE #:

1

ALL ROOF TRUSSES ARE TO BE DESIGNED BY THE TRUSS MANUFACTURER.

SECTION A:

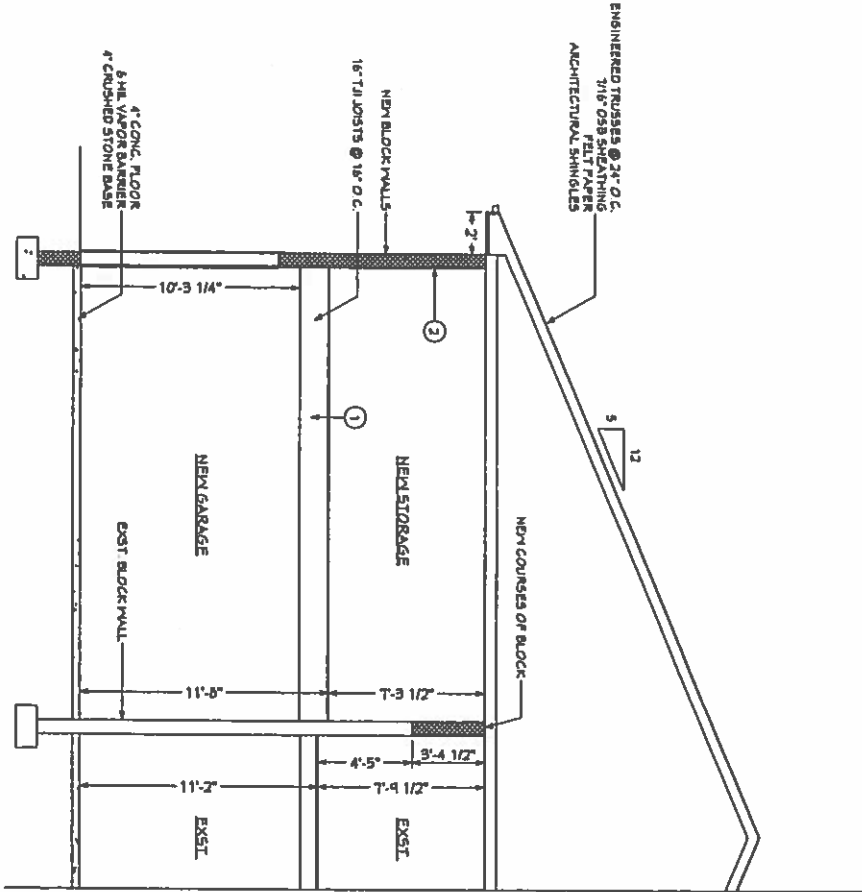
- 2ND FLOOR JOISTS: 16" T1'S, 560 @ 12" SPACING. ALLOWABLE LIVE LOAD ON THE FLOOR 125 #/SF.
- FRONT WALL, 16" CMU WALL REINFORCED WITH VERTICAL #4 BARS @ 16" PLACED AT 6" FROM THE OUTSIDE FACE OF THE WALL. FILL THE CORES WITH GROUT WHICH CONTAIN REINFORCING BARS.
- ATTACH A 2X10 PRESSURE TREATED YELLOW PINE TOP PLATE TO THE WALL WITH X" BOLTS ON 4'-FOOT CENTERS. ATTACH THE CORES IN WHICH THE BOLTS ARE LOCATED. ATTACH THE ROOF TRUSSES TO THE TOP PLATE WITH SIMPSON HGM5 SPP. THE FOOTINGS UNDER THE WALL, 24" WIDE BY 12" DEEP, REINFORCED WITH TWO CONTINUOUS #4 BARS 3" CLEAR OF SUBGRADE.

- NEW GARAGE A:
- GARAGE DOOR LINTEL, 5-1/8" X 16" MICRROLLAYS.
 - BRICK COLUMNS TO SUPPORT THE LINTELS: 16" X 16" REINFORCED WITH 2 VERTICAL #4 BARS GROUTED INTO PLACE. FOOTINGS, 3' X 3' X 12" (BELOW FROST), REINFORCE WITH 2 #4 BARS EACH WAY.
 - 13 & 14, 8" CMU WALL, REINFORCED WITH VERTICAL #4 BARS @ 32". FILL CORES CONTAINING REINFORCING WITH GROUT. FOOTING 16" X 12" WITH 2 #4 BARS CONTINUOUS.

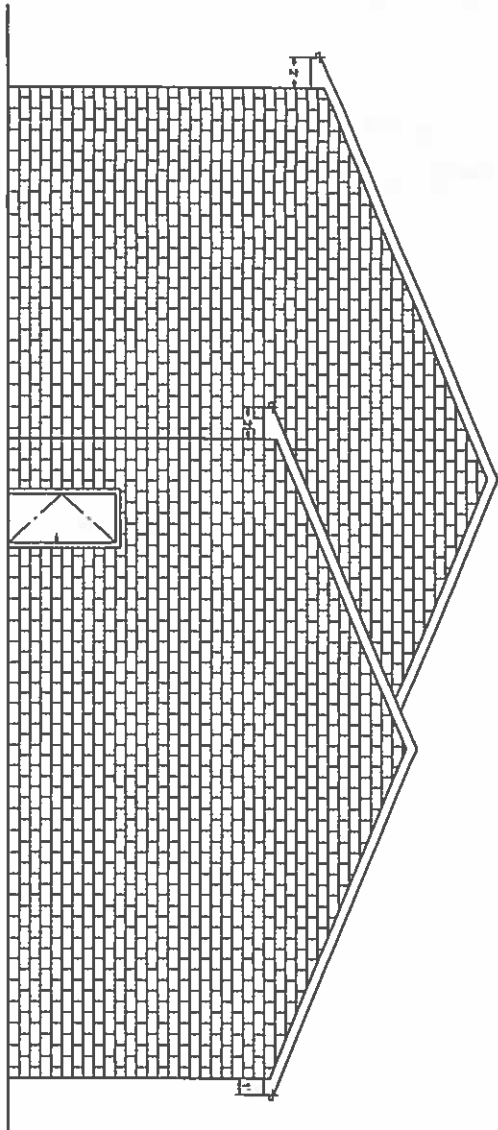
- NEW GARAGE B:
- GARAGE DOOR LINTEL, 4-1/8" X 16" MICRROLLAYS.
 - BEARING COLUMNS SUPPORTING ENDS OF THE LINTEL, 16" X 12". DROP 2 #4 VERTICAL BARS INTO THE CORES AND FILL THE CORES WITH GROUT. FOOTING: 26" X 26" X 12", BELOW FROST.
 - REAR WALL AND SIDE WALL, 8" CMU, FOOTING: 16" X 12", 2 #4 BARS CONTINUOUS, 3" CLEAR OF SUBGRADE.

- NEW GARAGE C:
- LINTELS 3-1/8" X 16" MICRROLLAYS.
 - MIDDLE BRICK PIERS SUPPORTING LINTELS, 14" X 16" REINFORCED WITH 2 #4 BARS VERTICAL, MORTARED INTO THE PIERS. END PIERS MAY BE 12" X 8". FOOTING FOR THE MIDDLE PIERS, 45" X 45" X 12" WITH 4 #4 BARS EACH WAY, 3" CLEAR OF SUBGRADE. FOOTINGS FOR THE END PIERS, 30" X 30" X 12", 2 #4 BARS EACH WAY, 3" ABOVE SUBGRADE. FOOTINGS ARE TO EXTEND BELOW FROST.

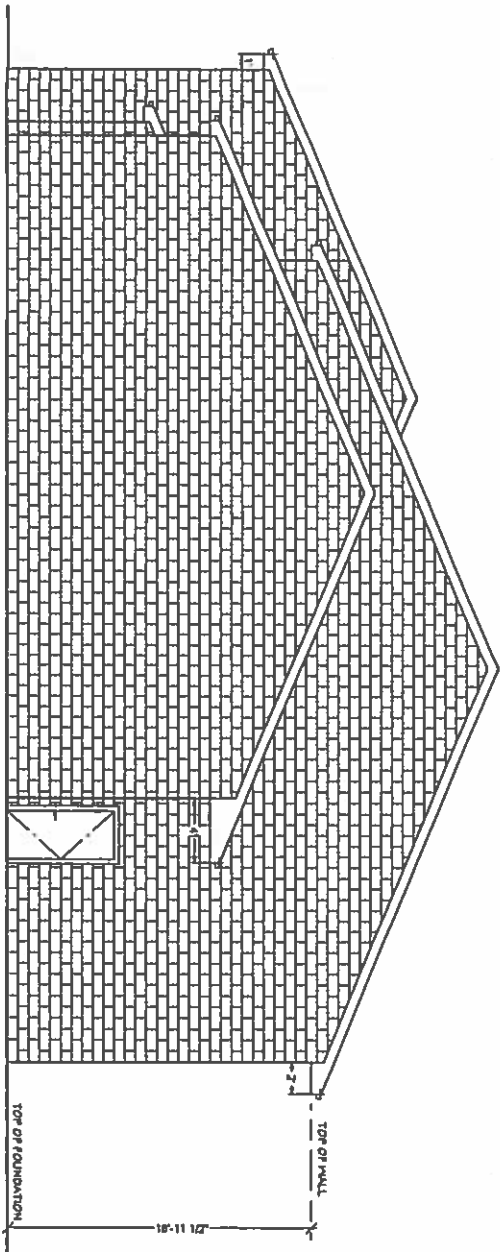
- NEW SHED
- WALL 8" CMU FOOTING 16" X 12", 2 #4 BARS CONTINUOUS.
 - IT IS OUR UNDERSTANDING THAT THE FLOOR SLAB MAY BE LOADED WITH A LOADED TRACTOR TRAILER. THE FLOOR SLAB SHOULD BE AT LEAST 6" THICK AND SHOULD BE REINFORCED WITH #6@6 WELDED WIRE FABRIC. PRIOR TO POURING THE FLOOR SLAB, VERIFY THAT THE SOIL UNDER THE SLAB IS FIRM. THE FLOOR SLAB SHOULD BE NO LESS THAN 5" THICK. PRIOR TO POURING THE FLOOR SLAB, VERIFY THAT THE UNDERLYING SOIL IS FIRM.



SECTION A



RIGHT



LEFT

ADDRESS:

104 REAR FAIRVIEW ST.
MOUNT JOY PA

DATE REVISED:

10/16/2020

SCALE:

1/4" = 1'-0"

PAGE #:

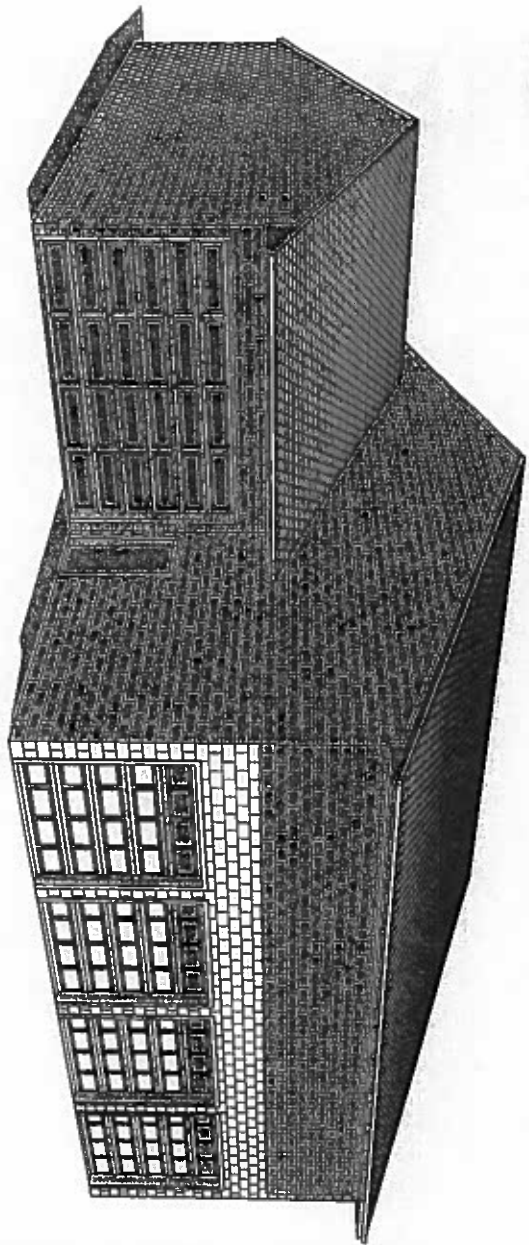
2

DESIGNER:

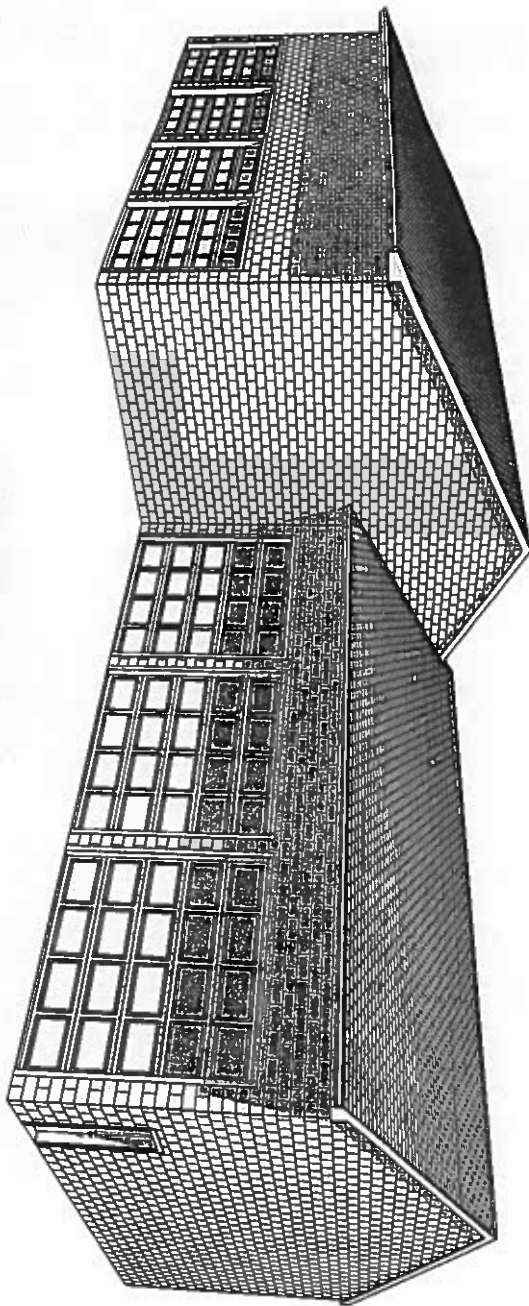
KINDREW
HOME DESIGN

BUILDER:

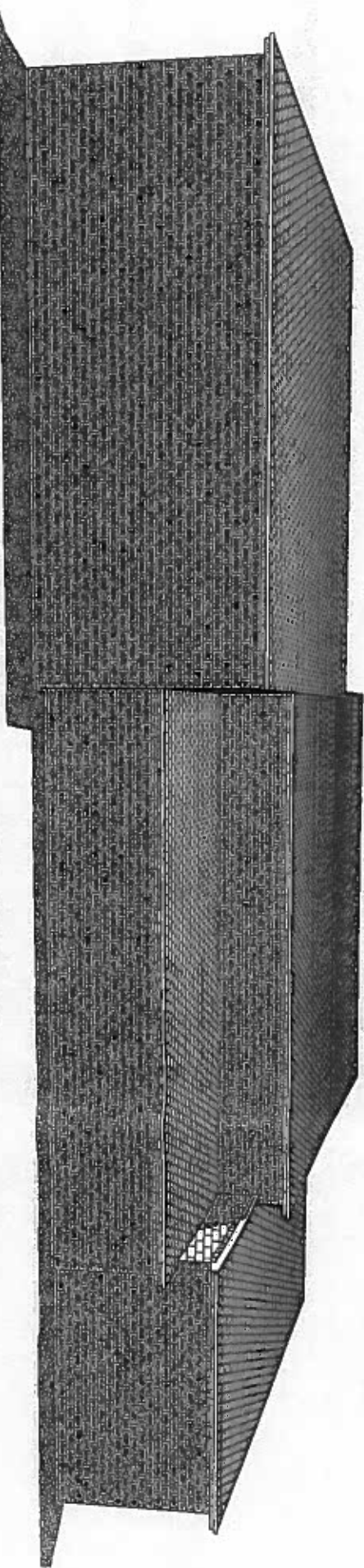
ERB'S
CONSTRUCTION



3D LEFT

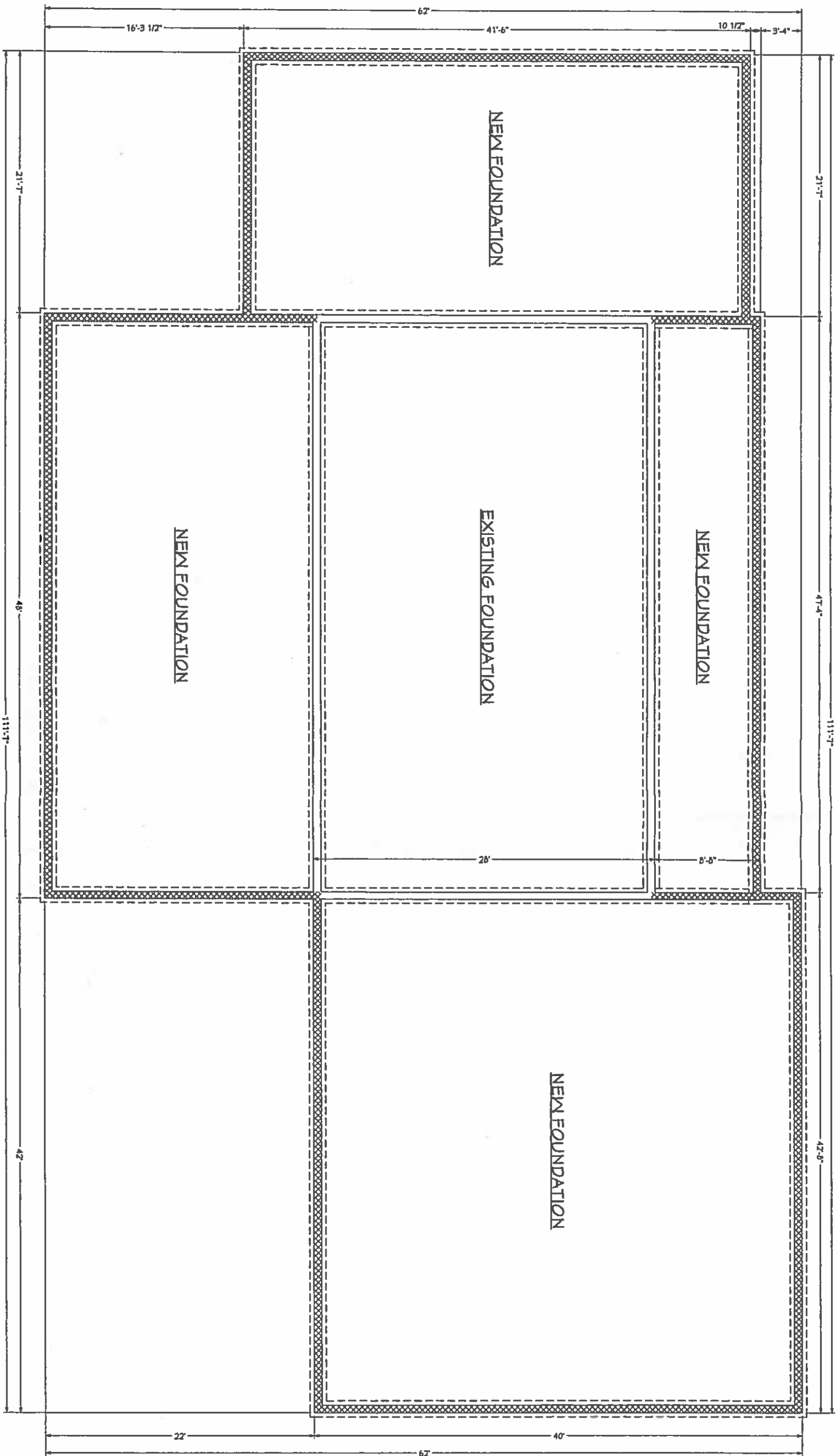


3D RIGHT



3D REAR

<p>DESIGNED AND BUILD IN ACCORDANCE WITH 2015 IBC</p>	<p>DATE REVISED: 10/16/2020</p>	<p>ADDRESS: <u>104 REAR FAIRVIEW ST.</u> <u>MOUNT JOY PA</u></p>	<p>BUILDER: <u>ERB'S</u> <u>CONSTRUCTION</u></p>	<p>DESIGNER: KINDREW HOME DESIGN</p>
<p>PAGE #: 3</p>	<p>SCALE: NO SCALE</p>	<p>ALTHOUGH OUR PRINTS ARE PREPARED WITH THE GREATEST OF CARE AND ACCURACY ACTUAL MEASUREMENTS MAY VARY +/-</p>		



FOUNDATION

WALL LEGEND:

- EXST. BLOCK WALLS
- NEW BLOCK WALLS

DESIGNER:



BUILDER:

ERB'S
CONSTRUCTION

ADDRESS:

104 REAR FAIRVIEW ST.
MOUNT JOY PA

DATE REVISED:

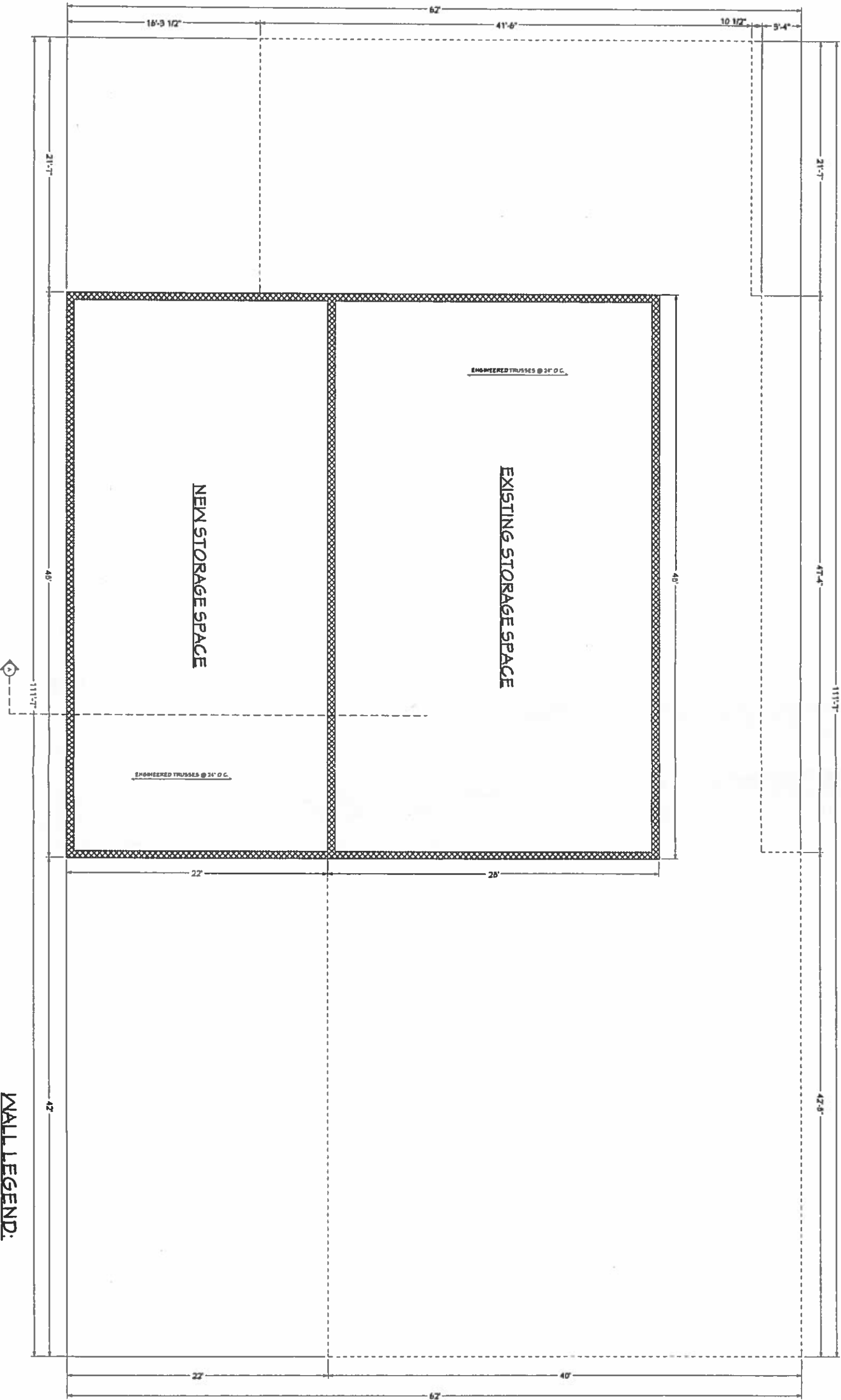
10/16/2020

SCALE:

1/4" = 1'-0"

PAGE #:

4



SECOND FLOOR

WALL LEGEND:

- EXST. BLOCK WALLS
- NEW BLOCK WALLS

DESIGNER:



BUILDER:

ERB'S
CONSTRUCTION

ADDRESS:

104 REAR FAIRVIEW ST.
MOUNT JOY PA

DATE REVISED:

10/16/2020

SCALE:

1/4" = 1'-0"

PAGE #:

6



LOCATION MAP
GRAPHIC SCALE IN FEET
0 2000 4000

TIME

1

BACK LIVE

ACQ. 1-18, APRIL 4, 2018

(0.75%)
\$ PROCHAD

SPRING CITY

SQUARE FEET
SQUARE FEET
C FEET
FEET BUILDING AREA INCREASE
AREA INCREASE

OF SECTION 270-111(c)(3)(A)
BY MORE THAN 25% IN
BLOCKS: 270-47A FOR
(2) FOR RETURNED MAILING
BLOCKS; AND SECTION

OWNER			
NAME:	ERB'S CONSTRUCTION		
ADDRESS:	221 WEST HENRY STREET		
	MOUNT JOY, PA 17552		
TELEPHONE:	717-653-1755		
SITE ADDRESS:	104 REAR FAIRVIEW STREET		
	MOUNT JOY, PA 17552		
SOURCE OF TITLE:	DEED REF. 6238074		
LANC. CO. TAX ACCT#	450-75034-0-0000		
		REVISIONS	DATE

December 9, 2020

Mount Joy Borough Council
21 East Main Street
Mount Joy, PA 17552
Attn: William A. Hall, Council President

Re: Request for Authorization to Pursue Rezoning and Zoning Map Amendment

President Hall,

On behalf of F2B Holdings LLC, I am making this request seeking authorization from Borough Council to submit a Petition to amend the Borough's official zoning map by rezoning the property located at 202 Fairview Street, Property ID # 450-60847-0-0000 (the "Property") from Conservation District (C) to Central Business District (CBD). F2B Holdings LLC is the equitable owner of the Property pursuant to an Agreement of Sale dated November 23, 2020 with The Lions Club of Mount Joy Inc. The Property is approximately 5.2 acres. If the Property is successfully rezoned, F2B Holdings LLC's anticipated primary use of the Property would be a self-storage operation.

If Borough Council authorizes the submission of the Petition, F2B Holdings LLC will file a complete Petition including an appropriate narrative and site map detailing its legal justification for the requested rezoning. Our project team working on the Petition would include Michael Davis of Barley Snyder and Todd Smeigh of D.C. Gohn Associates.

We have recently spoken with Borough staff, including the Zoning Officer Stacie Gibbs, regarding this potential rezoning and we were encouraged to submit this request to Borough Council. We believe that the requested rezoning of the Property is an appropriate extension of the requested zoning classification. In turn, we respectfully request that Borough Council authorize F2B Holdings LLC's filing of a Petition to amend the Borough's official zoning map to consider this rezoning request.

If you have any questions regarding this request, please contact me.

Very truly yours,


Scott Garber

12/11/20

Cc: Michael Davis, Barley Snyder
Todd Smeigh, D.C. Gohn Associates

ZONING

Types of Uses (See definitions in Article II)	Zoning Districts					
	CBD	NC	GC	LI	CI	GI
Scientific, electronic or other precision instruments	N	N	P	P	P	P
Soaps and cleaning compounds	N	N	N	P	P	P
Sporting goods, toys, games, musical instruments or signs	N	N	P	P	P	P
Transportation equipment	N	N	N	P	P	P
Wood products and furniture (not including raw paper pulp)	N	N	P	P	P	P
See § 270-5 for uses that are not listed						
Mineral extraction (§ 270-62) and related processing, stockpiling and storage	N	N	N	N	N	SE
Packaging	N	N	P	P	P	P
Package delivery services distribution center	N	N	N	SE	P	P
Petroleum refining	N	N	N	N	N	N
Photo processing, bulk	P	N	P	P	P	P
Printing or bookbinding	P	N	P	P	P	P
Recycling collection center (§ 270-62), provided all operations of an industrial scale occur within an enclosed building (other than Borough-owned use)	N	N	SE	SE	P	P
Recycling center, bulk processing, provided all operations of an industrial scale occur within an enclosed building (this use does not include paper processing, a solid waste disposal or transfer facility)	N	N	N	SE	SE	SE
Research and development, engineering or testing facility or laboratory	N	N	N	P	P	P
Sawmill/planing mill	N	N	N	SE	P	P
Self-storage development (§ 270-62)	P ¹⁰	N	SE	P	P	P
Slaughterhouse, stockyard or tannery (§ 270-62)	N	N	N	N	N	SE
Solar energy system, principal (§ 270-62)	N	N	N	SE	P	P
Solid waste landfill (§ 270-62)	N	N	N	N	N	SE
Solid waste transfer facility or waste-to-energy facility (§ 270-62)	N	N	N	N	N	SE
Trucking company terminal (§ 270-62)	N	N	N	N	N	SE
Warehousing or storage as a principal use	P ¹⁰	N	N	SE	P ¹¹	P
Warehousing or storage as an accessory use to a permitted principal use on the same lot or an adjacent lot or located in the same zoning district	P ⁹	P ⁹	P	P	P	P
Welding	N	N	N	SE	P	P
Wholesale sales (other than motor vehicles)	N	N	P	SE	P	P
Wind energy system, principal (§ 270-62)	N	N	N	SE	P	P
D. Institutional uses:						
Cemetery (See "crematorium," listed separately)	N	N	N	N	N	P
College or university, educational and support buildings	P	N	P	P	P	P
Community center or library	P	P	P	P	P	P
Crematorium	N	N	N	N	N	SE
Cultural center or museum	P	P	P	N	N ²	N
Day-care center, adult (§ 270-62)	P	P	P	P	P	N

ZONING

(See definitions in Article II)	CBD	NC	GC	LI	CI	GI
Forestry	P	P	P	P	P	P
Nature preserve, wildlife sanctuary or environmental education center	P	P	P	P	P	P
Parking lots as the principal use of a lot	SE	SE	P	P	P	P
Pasture and grazing land	N	N	P	P	P	P
Raising of livestock (§ 270-62)	N	N	SE	N	SE	SE
Crop farming	N	N	P	N	P	P
All uses that will be unable to comply with the performance standards of this chapter, especially including the environmental protection requirements of Article V	N	N	N	N	N	N

NOTES:

- ¹ = Provided that a permitted principal commercial use occupies the majority of the street-level fronting a public street. In addition, in the NC District, apartments shall be limited to within buildings that existing prior to the adoption of this chapter. In the NC District, there shall be a maximum of 2 dwelling units on each lot.
- ² = Except permitted by special exception if approved within a restored historic building under § 270-117.
- ³ = Except permitted by right on a lot exceeding 2 acres.
- ⁴ = Provided any drive-through service shall need special exception approval. The applicant shall provide that the entrances and exits for the drive-through have been designed to minimize conflicts with pedestrian travel along Main Street. To the maximum extent feasible, drive-through service entrances and exits shall use alleys and side streets.
- ⁵ = Limited to indoor sales and display, except for clearly accessory and customary activities, such as sidewalk sales. Such use shall not include the sale of gasoline or propane. A retail store may include drive-through service with special exception approval. The applicant shall prove that the entrances and exits for drive-through service have been designed to minimize conflicts with pedestrian travel along Main Street. To the maximum extent feasible, drive-through service entrances and exits shall use alleys and side streets.
- ⁶ = Limited to a maximum floor area of 3,500 square feet, except a larger floor area may be approved as a special exception use.
- ⁷ = Except permitted by special exception in the LI or CI District if approved within a restored historic building under § 270-117.
- ⁸ = Within the CI District, see § 270-48.
- ⁹ = ~~Shall not occupy street-level space adjacent to Main Street.~~
- ¹⁰ = ~~Provided the use shall be located at a minimum of 200 feet from the right-of-way of Main Street.~~
- ¹¹ = Within the CI District, see also § 270-48.

270-62

JJ.

Self-storage development.

(1)

All storage units shall be of fire-resistant construction.

(2)

Outdoor storage shall be limited to recreational vehicles, boats and trailers. No junk vehicles shall be stored within view of a public street or a dwelling.

(3)

Trash, radioactive or highly toxic substances, garbage, refuse, explosives or flammable materials, hazardous substances, animal carcasses or skins or similar items shall not be stored.

(4)

Nothing shall be stored in interior traffic aisles, required off-street parking areas, loading areas or accessways.

(5)

The use shall not include a commercial auto repair garage unless that use is permitted in the district and the use meets those requirements.

(6)

Adequate lighting shall be provided for security, but it shall be directed away or shielded from any adjacent residential uses.

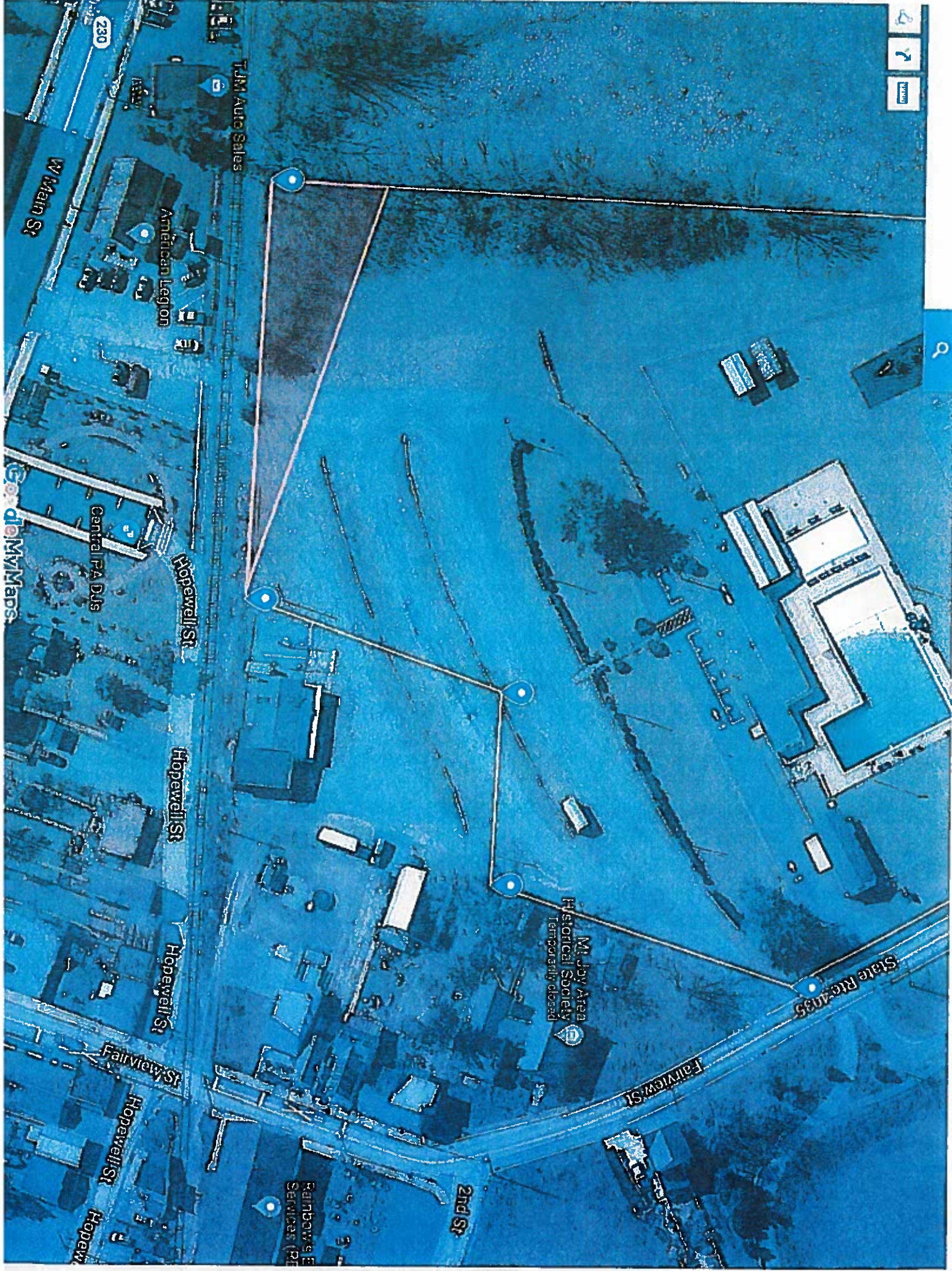
(7)

See § 270-113 concerning buffer yards. In addition, any area within 200 feet of a street right-of-way shall be screened from that street by a buffer yard meeting § 270-113.

(8)

Minimum separation between buildings: 20 feet.

Types of Uses (See definitions in Article II) Zoning Districts CBD NC GC LI CI GI



230

TJM Auto Sales

American Legion

W Main St

Central PA DUs

Hopewell St

Hopewell St

Hopewell St

Fairview St

Hopewell St

Hopewell St

Rainbow SE Services (P)

2nd St

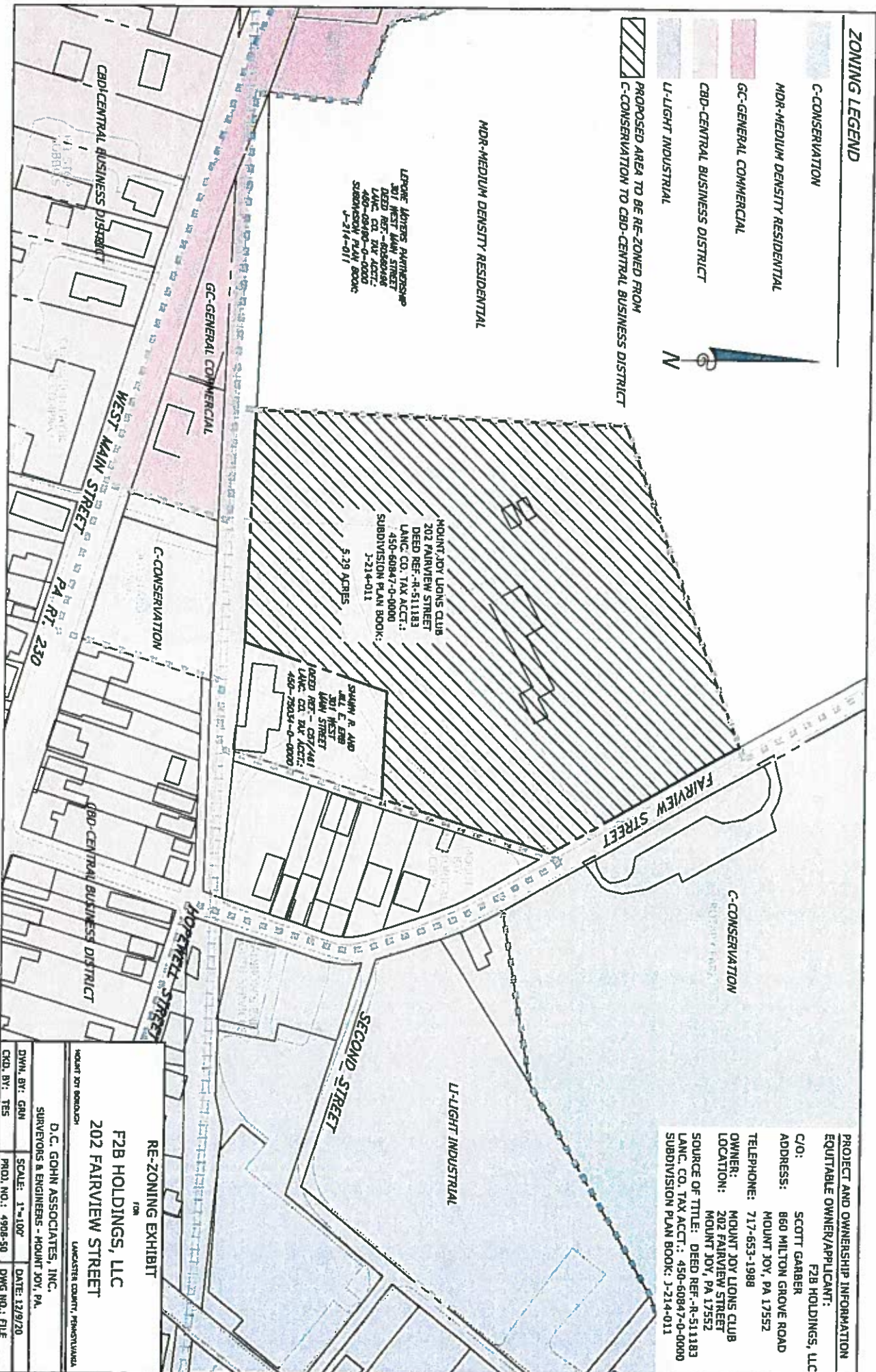
Mt Joy Area Historical Society
Temporarily closed

Fairview St

State Rte 4085

ZONING LEGEND

- C-CONSERVATION
- MOR-MEDIUM DENSITY RESIDENTIAL
- GC-GENERAL COMMERCIAL
- CBD-CENTRAL BUSINESS DISTRICT
- LI-LIGHT INDUSTRIAL
- PROPOSED AREA TO BE RE-ZONED FROM C-CONSERVATION TO CBD-CENTRAL BUSINESS DISTRICT



PROJECT AND OWNERSHIP INFORMATION

EQUITABLE OWNER/APPLICANT:
F2B HOLDINGS, LLC.
C/O: SCOTT GABER
ADDRESS: 860 MILTON GROVE ROAD
MOUNT JOY, PA 17552
TELEPHONE: 717-653-1988
OWNER: MOUNT JOY LIONS CLUB
LOCATION: 202 FAIRVIEW STREET
MOUNT JOY, PA 17552
SOURCE OF TITLE: DEED REF.-R-511183
LANC. CO. TAX ACCT.: 450-60847-0-0000
SUBDIVISION PLAN BOOK: J-214-011

RE-ZONING EXHIBIT	
FOR	
F2B HOLDINGS, LLC	
202 FAIRVIEW STREET	
MOUNT JOY BOROUGH	
LANCASTER COUNTY, PENNSYLVANIA	
D.C. GOHN ASSOCIATES, INC.	
SURVEYORS & ENGINEERS - MOUNT JOY, PA.	
DRAWN BY: GAN	SCALE: 1"=100'
DATE: 12/9/20	
CRD. BY: TES	PROJ. NO.: 4908-50
	DWG NO.: FILE

LAW OFFICES
MORGAN, HALLGREN, CROSSWELL & KANE, P.C.
P. O. BOX 4686

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISCO
JASON M. HESS

LANCASTER, PENNSYLVANIA 17604-4686
WWW.MHCK.COM

RETIRED
CARL R. HALLGREN
MICHAEL P. KANE

700 NORTH DUKE STREET
TELEPHONE 299-5251
AREA CODE 717

FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

December 11, 2020

VIA E-MAIL

Stacie M. Gibbs, Planning, Zoning and Code Administrator
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552

Re: Lakes at Donegal Springs Street Dedication
Our File No. 16724-3

Dear Stacie:

Mark Stanley provided to me the corrected plans and legal descriptions to accept the portions of Charlan Boulevard, Lakeside Crossing and Waters Edge Drive within the Lakes at Donegal Springs Phase 2. Mr. Stanley also provided a revised Deed of Dedication to me. It is my understanding that the Administration and Finance Committee will meet on December 17, 2020. I am providing you with information and documents for the Committee's review.

The Deed of Dedication is acceptable and may be executed. By letter dated November 12, 2020, I provided Mr. Stanley with the Owner's Affidavit and Maintenance Guaranty and Street Warranty. I am attaching copies of those documents to this letter for your convenience. Mr. Stanley should have all of the documents executed and forward the originals to me.

I have prepared and attach a draft ordinance with all required exhibits to accept dedication of the three streets. Please review the ordinance to confirm that it is acceptable.

I have also prepared and attach a draft ordinance to establish traffic regulations for the streets. Please carefully review that ordinance to confirm that it includes all of the required traffic regulations. There is no speed limit for Charlan Boulevard in the attached ordinance because Section 255-21 already provides for a 25 mile per hour speed limit for the entire length of Charlan Boulevard.

Borough Council meets on Monday, January 4. While the ordinance to establish traffic regulations only needs to be advertised once, the ordinance to accept dedication of the streets must be advertised once a week for two successive weeks. Borough Code §1731(b). Advertisements for all Borough ordinances have to be published at least seven days prior to Council's meeting. Borough Code §3301.2(a). If Council desires to consider this matter at the meeting on January 4, the Borough can take advantage of Section 1909 of the Statutory Construction Act which provides:

Stacie M. Gibbs, Planning, Zoning and Code Administrator
December 11, 2020
Page 2

Whenever in any statute providing for the publication of notices, the phrase "successive weeks" is used, weeks shall be construed as calendar weeks. The publication upon any day of such weeks shall be sufficient for publication for that week, but at least five days shall elapse between each publication....

1 Pa. C.S. §1909. Theoretically, if you notified me the day after the Committee's meeting that Council could consider the matter on January 4, the legal advertisement could be published on Tuesday, December 22, and Monday, Monday, December 28, to meet the requirements of the Borough Code and the Statutory Construction Act.

Before Council acts to accept dedication of the streets, the developer must provide the required as-built plan and financial security. It is my understanding that the developer is aware of these requirements.

If you have any questions concerning any of the issues addressed in this letter, please contact me.

Very truly yours,


Josele Cleary

JC:sle
MUNI\16724(10)\201210\71

Attachments

cc: Charles M. Kraus, III, Borough Manager (via e-mail; w/attachments)
Mark Stanley, Esquire (via e-mail; w/attachments)



570 Lausch Lane • Suite 200 • Lancaster, PA 17601-3057
Tel: 717.291.1177 • Fax: 717.291.2186

Mark Stanley
Direct Dial: 717.581.2315
Direct Fax: 717.260.1751
mstanley@mcneeslaw.com

December 14, 2020

Josele Cleary, Esquire
Morgan, Hallgren, Crosswell & Kane, P.C.
700 North Duke Street
P.O. Box 4686
Lancaster, PA 17604

HAND DELIVER

Re: The Lakes at Donegal Springs – Deed of Dedication Documentation for
Charlan Boulevard, Lakeside Crossing, and Waters Edge Drive

Dear Josele:

Enclosed please find the following **original** executed and notarized documentation for the
above-referenced matter:

1. Deed of Dedication;
2. Maintenance Guaranty and Street Warranty; and
3. Owner's Affidavit

I understand the enclosed documents will be presented to the Administration and Finance
Committee at their meeting on December 17, 2020.

With kind regards,

Sincerely,

McNEES WALLACE & NURICK LLC

A handwritten signature in cursive script that reads "Mark Stanley".

By

Mark Stanley

MS/7826897

Enclosure

cc (Via E-mail):

Tim Risser

Stacie Gibbs, w/enclosures

www.McNeesLaw.com

HARRISBURG, PA • LANCASTER, PA • SCRANTON, PA • STATE COLLEGE, PA • YORK, PA • COLUMBUS, OH • FREDERICK, MD • WASHINGTON, DC



December 15, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

RE: The Lakes at Donegal Springs – Phase 2 Inspection
ARRO #10863.26

Dear Stacie:

A final inspection of the curb, sidewalk, storm sewer and streets was performed on December 2, 2020 by Dennis Nissley, Dave Salley, Tim Risser of Desmond Construction/Management, Dan Hickel of H.L. Wiker and me. All remaining punch list items listed in my September 28, 2020 letter have been addressed except for the construction of sidewalk on Lots 120, 122 and 148. This sidewalk will be addressed in a deferred improvements agreement to be executed by the Borough and Developer.

A final inspection of the landscaping was also performed on December 2, 2020 by you, Tim Risser, Brent Siegrist of Groundscape and me. After the addition of several trees on Lot 148, the landscaping is acceptable.

Therefore, all work has been completed and is acceptable.

Please call me at 717-560-6065 if you have questions.

Sincerely,

Darrell L. Becker, P.E.
Vice President

DLB:acb

c: Casey Kraus, Interim Manager – Mount Joy Borough
Dennis Nissley, Director of Public Works – Mount Joy Borough
Dave Salley, Stormwater Enforcement Officer – Mount Joy Borough
Tim Risser – Desmond Construction /Management

December 15, 2020



Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

RE: The Lakes at Donegal Springs – Phase 2
Construction Financial Security Release
ARRO #10863.26

Dear Stacie:

Desmond Construction/Management is requesting release of the balance in the construction financial security in the amount of \$299,265.73. Final inspections of the improvements were performed on December 2, 2020. Based on those inspections all work has been completed except for four items.

One item is the construction of sidewalk on Lots 120, 122 and 148. The construction of sidewalk on Lots 120, 122 and 148 will be addressed in a deferred improvements agreement. The cost to construct the sidewalk on the three lots is \$8,250.00. Therefore, this amount should be retained in the construction financial security.

Other Items to be completed include construction of a path connection between Lots 81 and 82; the installation of the trash rack on the outlet structure of the stormwater management facility and the submission and approval of As-built plans. The developer has advised that the construction of the path, installation of the trash rack and submission of the As-built plans are expected to be completed prior to dedication of the streets. The cost to complete these three items is \$10,000.00. If this work is not completed prior to dedication of the streets this amount should also be retained in the construction financial security.

Please call me at 717-560-6056 with any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Darrell L. Becker".

Darrell L. Becker, P.E.
Vice President

DLB:acb

c: Casey Kraus, Interim Manager – Mount Joy Borough
Josele Cleary, Esquire - Morgan, Hallgren, Crosswell & Kane PC
Tim Risser – Desmond Construction /Management



December 21, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

RE: The Lakes –Phase 2 As-Built Plans
ARRO #10863.26

Dear Stacie:


ARRO Consulting, Inc. reviewed the following information in accordance with the Mount Joy Borough Subdivision and Land Development Ordinance and Stormwater Management Ordinance.

1. Comment Response letter from RGS Associates dated December 16, 2020
2. Municipal Stormwater Record Plan for Phase 2 As-Built for Lakes at Donegal Springs, prepared by RGS Associates, Inc., dated October 30, 2020, last revised December 15, 2020.
3. Stormwater Management As-Built Report for Lakes at Donegal Springs, prepared by RGS Associates, Inc., dated October 29, 2020, last revised December 15, 2020.

The comments from ARRO's November 12, 2020 review letter have been satisfactorily addressed on the plans. Also, the Stormwater Management As-Built Report confirms the actual post development discharge rate from the lake/basin is less than the post development design discharge rate. Therefore, the Municipal Stormwater Record Plan and Stormwater Report are acceptable.

Please call me at 717-560-6065 if you have questions.

Sincerely,



Darrell L. Becker, P.E.
Vice President

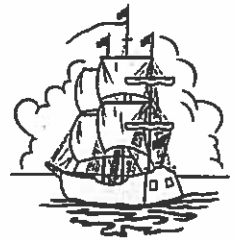
DLB:acb

c: Casey Kraus, Manager – Mount Joy Borough
Dennis Nissley, Director of Public Works – Mount Joy Borough
Dave Salley, Stormwater Enforcement Officer – Mount Joy Borough
Tim Risser – Desmond Construction /Management

MOUNT JOY BOROUGH

Lancaster County, Pennsylvania

APPLICATION FOR CONSIDERATION OF A SUBDIVISION AND/OR LAND DEVELOPMENT PLAN



The undersigned hereby applies for approval under Chapter 240, Subdivision and Land Development, of the Code of the Borough of Mount Joy for the Plan submitted herewith and described below:

For Mount Joy Borough Use Only

Mount Joy Borough File No: 200003 Date of Receipt/Filing: 11/11/20

Plan & Project Information

Plan Name: Sketch Plan for Gerberich Payne Shoe Company	
Plan No: 1378-20	Plan Date: November 11, 2020
Location: 240 West Main Street Mount Joy, PA 17552	
Property Owner: Manorvest LLC	
Owner Address: 145 Oakridge Drive Mountville, PA 17554	
Telephone Number:	
Email:	
Deed Reference: 6543124	Tax Parcel No: 450-34256-0-0000
Applicant (if not landowner): Mount Joy Senior Housing LP	
Applicant Address: 2121 Old Gatesburg Road Suite 200 State College, PA 16803	
Telephone Number: 814-272-8945	
Email: CLovrak@gatesburgroaddevelopment.com	
Firm Which Prepared Plan: DC Gohn Associates	
Firm Address: 32 Mount Joy Street Mount Joy, PA 17552	
Telephone Number: 717-653-5308	
Person Responsible For Plan: Brian R. Cooley	
Email: bcooley@dcgoehn.com	
Plan Type: <input checked="" type="checkbox"/> Sketch Plan <input type="checkbox"/> Change(s) to Recorded Plan	
<input type="checkbox"/> Preliminary Plan <input type="checkbox"/> Subdivision <input type="checkbox"/> Land Development <input type="checkbox"/> Lot-Line Change Plan	
<input type="checkbox"/> Final & Preliminary/Final Plan <input type="checkbox"/> Lot-Line Change Plan (expedited)	
<input type="checkbox"/> Improvement Construction Plan <input type="checkbox"/> Plan Deferral	
Description: Convert existing building into 36 senior housing apartments and reconfigure existing parking areas. The first floor facing Main Street will contain a commercial space.	
Total Acreage: 1.279	
Zoning District: CBD Commercial Business	
Is/was a zoning variance, special exception or conditional use approval necessary? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	
If yes, please attach Zoning Hearing Board Decision.	

		Proposed Lots and Units			
	# of Lots	# of Units		# of Lots	# of Units
Total #		37	Mixed Use		
Commercial		1	Single Family Detached		
Industrial			Multifamily		
Institutional			Other Senior apartments		36
Total Square Feet of Ground Floor Area (building footprint):			12,120 s.f.		
Total Square Feet of Existing Structures (all floors):			45,760 s.f.		
Total Square Feet of Proposed Structures (all floors):			45,760 s.f.		
Total Square Feet (or Acres) of Proposed Parkland/Other Public Use:			0		
Linear feet of new street:			0		
Identify all street(s) not proposed for dedication:			All streets are private		

NOTES:

1. All units of occupancy shall be provided with a complete water supply system which shall be connected to the Borough's water supply system in accordance with the requirements of Council, the Authority and DEP.
2. All units of occupancy shall be provided with a complete sanitary sewer system, which shall be connected to the Borough's sanitary sewer system in accordance with the requirements of Council, the Authority and DEP.
3. The final plan application shall include a statement from the Authority indicating the approval of plans for design, installation, and possible financial guarantees.
4. Applicants shall comply with all plan processing procedures of the County Planning Commission. It is the responsibility of the applicant to determine the requirements of the County Planning Commission, including, but not limited to, the number of copies which must be submitted and the filing fee.
5. The final plan or preliminary/final plan shall be recorded in the office of the Recorder of Deeds in and for Lancaster County.

Submission Requirements

Planning Commission Meeting: 2nd Wednesday of the month, 7:00 PM

Deadline: 2nd Wednesday of the month prior to meeting

Preliminary and Preliminary/Final Plans:

- Three (3) copies of preliminary plan, 24" x 36"
- Six (6) copies of the preliminary plan, 11" x 17"
- Two (2) copies of all reports, notifications, and certifications that are provided on the Plan, including Storm Water Management Plans and calculations.
- One (1) copy of the application form completely and correctly executed, with all information legible, and bearing all required signatures.
- The required filing fee as established from time to time by resolution by the Council.
- An electronic copy of the plan and all supporting documents in PDF format.
- All other items listed under Article VII, Plan Requirements.

Sketch Plans: (Expedited processing of certain plans) The Applicant will have the right to proceed to a preliminary/final plan and forego the preliminary plan phase/processing requirements. Developers are strongly urged, but not required to submit this plan for a proposed land development. This plan will be considered an informal submission, for discussion purposes by Borough staff, the Borough Solicitor, the Borough Engineer and Planning Commission.

- Plan sheets 24" x 36"
- Eight (8) paper copies of the plan.
- Two (2) copies of any supporting documents.
- One (1) electronic copy of the plans and supporting documents.
- Supplemental documents
- One (1) copy of the application form completely and correctly executed, with all information legible, and bearing all required signatures.
- The required filing and review fees as established from time to time by resolution by the Council.

Improvement Construction Plans: An applicant whose improvement construction plan is approved, is permitted to install all or part of the improvement required prior to final plan submission.

- After an applicant has received official notification that the preliminary plan has been approved and the required changes, if any have been made, an application may be processed.
- May be submitted in sections, each section covering a reasonable portion of the entire proposed subdivision, as shown on the approved preliminary plan.
- Applications should be made and processed in accordance with the Preliminary/Final Plan submission requirements above.

Lot Line Change Plan: A plan to shift lot lines or to merge lots.

- A lot-line change plan may be waived from the review by Lancaster County Planning Commission (LCPC) (if the Borough and LCPC agree), if the applicants provide a Lancaster County Appendix 24 form.
- Approval of this plan shall be permitted to file a single application for preliminary/final plan approval.

Changes to Recorded Plans: Any redevelopment or resubdivision, including changes to a recorded plan, shall be considered as a new application and shall comply with all requirements of this chapter, except that changes may be made to a recorded plan, provided that, in making such changes:

- (1) The original application shall have been made for residential purposes, and the residential character and use of the land shall be maintained.
- (2) No lot or tract of land shall be created that does not meet the minimum design standards required by this chapter and other applicable Borough ordinances.
- (3) No structure shall be relocated which does not meet the minimum design standards required by this chapter and other applicable Borough ordinances.
- (4) No increase shall be made in overall density of the development.
- (5) No easements, access drives, rights-of-way or stormwater management facilities shall be changed.
- (6) No street locations, block sizes, or point of access onto an existing Borough or state street shall be changed.

B. In every case where a plan alteration conforms to the above, the applicant shall:


- (1) Submit to the Borough Secretary two paper copies of the revised final plan, one electronic copy, and one application form. Upon review of the revision, the Borough Secretary shall notify the applicant, in writing, whether or not the revision complies with the above requirements.
- (2) If the revision complies, the applicant shall prepare two plans, which shall specifically identify the alterations to the previously recorded plan.
- (3) The applicant shall submit the plan to the Council for certification as specified in Article III of this chapter and to the Borough for signature as specified in § 240-29 of this chapter.
- (4) The plan shall be recorded as specified in § 240-29 of this chapter.

The undersigned hereby represents that, to the best of his/her knowledge and belief, all information listed in this application and on any attached plans or forms is true, correct and complete. The undersigned also authorizes Mount Joy Borough to enter the property in question for a general site inspection. The undersigned agrees to accept and abide by the applicable Ordinances, Resolutions, Rules and Regulations including application fees and reimbursement of Borough review expenses now in effect for the Borough of Mount Joy.


Signature of Applicant

10/21/2020
Date

COAG J. Kowrak (Mt. Joy Senior Housing LP)
Printed Name


Signature of Landowner
(If different than above)

10/21/2020
Date

David L Charles (Menomonee LLC)
Printed Name



Surveyors - Engineers - Landscape Architects

November 11, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Mount Joy Borough
21 E. Main Street
Mount Joy, PA 17552

SUBJECT: Gerber-Payne Shoe Company Redevelopment
Sketch Plan Submission
DCG Project Number 1378-20

Dear Ms. Gibbs:

On behalf of our client, Gatesburg Road Development, we are submitting the Sketch Plan for the proposed site improvements.

A pre application meeting was held with the Mount Joy Borough, Mount Joy Borough Authority, Gatesburg Road Development, and DC Gohn Associates on October 20, 2020 to review the site plan improvements. The Borough Zoning Officer previously submitted a Zoning Review Letter and the Mount Joy Borough Authority submitted a capacity approval letter at the request of the developer in to obtain funding for the project. The Gerber-Payne Shoe Company Redevelopment has been approved for the required funding for the project to move forward.

The project will consist of the redevelopment of the existing building into 36 senior housing units consisting of 12, 1 bedroom apartments and 24, 2 bedroom apartments. The bottom floor elevation facing Main Street will contain a commercial space which ranges from 4,000 square feet to 6,000 square feet. The off-street parking lot will contain 40 parking spaces, there are 3 on-street parking spaces along Main Street along the property frontage, and there is 13 spaces along Henry Street. In addition, there are public parking spaces on the north side of Main Street and the Old Standby Park. Access to the parking lot is from Williams Alley and West Henry Street.

We submit the following for your review:

1. 8 copies of the Sketch Plan
2. 2 copies of the sketch plan application
3. 2 copies of the fee schedule
4. 2 copies of the Borough Zoning Review Letter
5. 2 copies of the MJBA Letter of Intent to Serve Water and Sewer
6. 2 copies of the ARRO Water and Sewer capacity Request Letter

7. 2 copies of the waiver request letter
8. 2 copies of the meeting minutes prepared by ARRO dated October 29, 2020
9. 2 copies of the Traffic Impact Assessment prepared by RETTEW
10. Review fee check
11. CD

The application is being submitted directly to Josele Cleary and ARRO.

Sincerely,

D. C. GOHN ASSOCIATES, INC.

Brian R. Cooley

Brian R. Cooley
Staff Landscape Architect

cc: Gatesburg Road Development
Steve Funk, LeFevre Funk Architects Inc.
Josele Cleary, Borough Solicitor
ARRO
File

Mount Joy Borough
21 East Main Street
Mount Joy, Pennsylvania 17552



From the Office of:
Stacie Gibbs
Zoning, Code & Planning
Administrator

Incorporated 1851

{717} 653-2300
Fax {717} 653-6680
staci@mounjoypa.org

September 18, 2019

Cory Lovrak
Construction Manager
Gatesburg Road Development
2121 Old Gatesburg Road
State College, PA 16803

Re: Zoning Review Request
240 W. Main Street, Mount Joy PA, 17552 (Gerberich Payne Shoe
Factory)
Parcel No: 450-3425600000

Dear Mr. Lovrak,

As requested, please allow this correspondence to serve as an official letter regarding Zoning review of the proposed plan, prepared by DG Gohn Associates Inc., and dated July 11, 2018, for the above property.

The current Zoning Classification for the subject property is Commercial Business District. Apartments are a permitted by right use, provided that a permitted principal use occupies the majority of street-level fronting a public street.

The proposed plan is compliant to the Table of Lot and Setback Requirements in the Ordinance. It is also compliant to the Table of Off-Street Parking Requirements in the Ordinance provided all tenants will be 62 years of age or older or physically handicapped. Parking requirements for the ground floor Commercial space required are compliant by use of Section 270-81.8 Parking reduction in the CBD Downtown Commercial District that states:

(2) The parking requirements in the Table of Off-Street Parking Requirements shall be modified within the CBD District as follows:

(a) No off-street parking shall be required for lawful nonresidential uses within the CBD District within buildings that existed prior to the adoption of this chapter.

The building located on the property existed prior to enactment of the Zoning Ordinance and provided the proposed commercial uses on the first floor are allowed in the CBD District, they would constitute "lawful nonresidential uses within the CBD District". Therefore, no additional parking would be required for the permitted principal use occupying the majority of street-level fronting a public street.

Provided that a final plan meeting all other requirements of the Ordinance including Article V. Environmental Protection, Article VII. Signs and Article VIII. General Regulations, Zoning can be approved for the property without variances or special exceptions.

Please contact me directly if you have any questions or concerns.

Sincerely,

A handwritten signature in cursive script, appearing to read "Stacie Gibbs".

Stacie Gibbs
Zoning, Code & Planning Administrator

BOROUGH OF MOUNT JOY
LANCASTER COUNTY, PENNSYLVANIA

ORDINANCE NO. 1-16

THE MOUNT JOY BOROUGH ZONING ORDINANCE;
TO REGULATE THE LOCATION AND USE OF
BUILDINGS, STRUCTURES, AND LAND FOR
AGRICULTURAL, RESIDENTIAL, INDUSTRIAL AND
COMMERCIAL PURPOSES; REGULATING THE BULK
AND SIZE OF BUILDINGS, STRUCTURES, AND USES;
ESTABLISHING ZONING DISTRICTS AND
REGULATIONS FOR USES WITHIN EACH SUCH
DISTRICT; DEFINING TERMS; ESTABLISHING
PERFORMANCE STANDARDS AND REGULATIONS;
PROVIDING FOR THE ADMINISTRATION OF THE
ZONING ORDINANCE; PROVIDING FOR THE
ESTABLISHMENT OF A ZONING HEARING BOARD
AND THE POWERS AND DUTIES OF SUCH BODY;
AND PROVIDING FOR ENFORCEMENT AND
PENALTIES FOR VIOLATIONS THEREOF.

BE AND IT IS HEREBY ORDAINED AND ENACTED by Borough Council of the
Borough of Mount Joy, Lancaster County, Pennsylvania, as follows:

Section 1. The Code of Ordinances of the Borough of Mount Joy, Chapter 270, Zoning,
shall be deleted in its entirety and a new Chapter 270, Zoning, shall be inserted which shall
provide as follows:

D. Purposes of each district. In addition to serving the overall purposes of this chapter, the specific purposes of each zoning district are summarized below:

- (1) Conservation District: to preserve sensitive environmental features, such as wetlands, flood-prone lands and very steeply sloped areas; to assist in protecting the water quality and habitats along creeks; to provide areas for recreation and open space.
- (2) LDR Low Density Residential District: to provide for low-density residential neighborhoods that are primarily composed of single-family detached dwellings; to protect these areas from incompatible uses; to encourage owner occupancy and neighborhood stability; to provide a transition between higher-density neighborhoods and agricultural areas.
- (3) MDR Medium Density Residential District: to provide for a range of densities of residential neighborhoods with a mix of housing types; to protect these areas from incompatible uses; to encourage "one home, one lot" development in order to promote home ownership and neighborhood stability; to make sure that "infill" development is consistent with neighboring development; to provide opportunities for well-planned retirement communities.
- (4) MHDR Medium High Density Residential District: to provide for medium-high-density residential neighborhoods with a mix of housing types meeting the density goals of the Donegal Region Comprehensive Plan; to protect these areas from incompatible uses.
- (5) CBD Commercial Business District: to promote compact, pedestrian-oriented activities in the downtown; to promote an appropriate mix of retail, service, office, public, institutional and residential uses; to avoid auto-oriented uses that are most likely to conflict with a pedestrian orientation and which are most likely to cause demolition of historic buildings; to primarily provide for smaller-scale uses and mixed uses that utilize existing historic buildings, as opposed to uses that would involve substantial demolition; to promote high-density transit-oriented development at locations in walkable distance from the train station.
- (6) NC Neighborhood Commercial District: to provide for predominantly commercial and mixed uses that would be highly compatible with homes; to promote the adaptive reuse of historic buildings along portions of Main Street that are not within the Commercial Business District; to encourage commercial uses accessible by multiple modes of transportation; to promote uses that will provide a pedestrian orientation.
- (7) GC General Commercial District: to provide for larger-scale employment uses and a mix of commercial uses serving a regional level; to provide for commercial uses of all sizes; to provide for uses that are more auto-related than uses in the CBD and NC Districts.
- (8) LI Light Industrial District: to provide for employment uses such as light industrial, office and related commercial development in a manner that is compatible with any nearby homes; to carefully control the types of operations to avoid nuisances (such as excessive noise and vibrations) and hazards; to encourage the preservation of key

Mount Joy Borough Zoning Ordinance - Attachments

Table of Permitted Uses: Primarily Non-Residential Districts

Key:

- P = Permitted by right (zoning decision by Zoning Officer)
- CU = Conditional use (zoning decision by Borough Council)
- SE = Special exception use (decision by Zoning Hearing Board)
- N = Not permitted
- § 270-62 = See additional requirements in § 270-62
- § 270-63 = See additional requirements in § 270-63

Types of Uses (See definitions in Article II)	Zoning Districts					
	CBD	NC	GC	LI	CI	GI
A. Residential Uses						
Single-family detached dwelling (including manufactured/mobile home [§ 270-62], except within a National Register or state-certified historic district)	SE	P	N	N	N	N
Semi-detached dwelling, with each dwelling unit on its own lot	N	P	N	N	N	N
Townhouse/row house (§ 270-62)	N	P	N	N	N	N
Apartments (§ 270-62)	P ¹	P ¹	N	N ²	N ²	N
Conversion of an entire building into a single dwelling unit	SE	N	N	N	N	N
Boardinghouse or rooming house (§ 270-62)	N	N	SE	N	N	N
Group Home within a lawful pre-existing dwelling unit (§ 270-62), not including a treatment center	P	P	P	N	N	N
B. Commercial Uses						
Adult use (§ 270-62)	N	N	N	N	N	SE
After-hours club (Note: This use is effectively prohibited by State Act 219 of 1990.)	N	N	N	N	N	N
Amusement arcade	N	SE	P	N	N	N
Auto repair garage or service station (§ 270-62)	N	SE	SE	N	N	N
Auto, boat or mobile/manufactured home sales (§ 270-62)	N	SE	P	N	N	N
Bakery, retail	P	P	P	N	N	N
Bed-and-breakfast inn (§ 270-62)	P	P	P	N ²	N ²	N

Mount Joy Borough Zoning Ordinance - Attachments

Types of Uses (See definitions in Article II)	Zoning Districts					
	CBD	NC	GC	LI	CI	GI
Day-care center accessory to a lawful place of worship	P	P	P	P	P	N
Day care, child (See § 270-63)						
Group day-care home	P	P	P	P	P	N
Family day-care home	P	P	P	P	P	N
Heliport	N	N	N	N	SE	SE
Home occupation accessory to a lawful dwelling unit						
General home occupation (§ 270-63)	P	P	P	N	N	N
Light home occupation (§ 270-63)	P	P	P	N	N	N
Telephone (outdoor pay) or vending machines (See § 270-63)						
H. Miscellaneous						
Erosion and sedimentation controls, water monitoring devices, flood hazard improvements, culverts and stormwater improvements	P	P	P	P	P	P
Forestry	P	P	P	P	P	P
Nature preserve, wildlife sanctuary or environmental education center	P	P	P	P	P	P
Parking lots as the principal use of a lot	SE	SE	P	P	P	P
Pasture and grazing land	N	N	P	P	P	P
Raising of livestock (§ 270-62)	N	N	SE	N	SE	SE
Crop farming	N	N	P	N	P	P
All uses that will be unable to comply with the performance standards of this chapter, especially including the environmental protection requirements of Article V	N	N	N	N	N	N

NOTES:

- ¹ = Provided that a permitted principal commercial use occupies the majority of the street-level fronting a public street. In addition, in the NC District, apartments shall be limited to within buildings that existing prior to the adoption of this chapter. In the NC District, there shall be a maximum of 2 dwelling units on each lot.
- ² = Except permitted by special exception if approved within a restored historic building under § 270-117.

January 5, 2016

Mount Joy Borough Zoning Ordinance - Attachments

Zoning District	Type of Use	Min. Lot Width				Min. Side Yard	Maximum Percent Building Coverage	Maximum Percent Impervious Coverage
		Minimum Lot Area (square feet)	Measured at Min. Building Setback Line (feet)	Min. Front Yard Setback (ft.)	Min. Rear Yard Setback (feet)**			

MHDR District:								
a) Single-family detached dwelling,*	4,000	35	10 (10 feet of which may include an unenclosed porch)	25	5, except 0 at the shared lot line of lawfully attached dwellings	50%	70%	For a townhouse development, the maximum impervious coverage may be based on an average for the development
b) Semi-detached dwelling unit,*	3,000 per dwelling unit	30 per dwelling unit						
c) Townhouse,*	2,500 per dwelling unit	22 per dwelling unit						
d) Apartments.	Minimum average (Note E) of 2,000 per dwelling unit (Note C)	60						
e) Retirement communities: The regulations of § 270-62 shall apply instead of the regulations in this table.								
f) Other allowed principal use.	5,000	40						
g) Manufactured home parks shall meet the requirements for such use as stated in § 270-62, instead of the requirements of this table.								

CBD District:								
Any allowed use.	1,200	22	0	0 (Note D), except 3 feet from any existing parallel door or window of a building on an abutting lot	0 (Note D)	90%	100%	
Any lot that is created with a lot area exceeding one acre shall need conditional use approval.								

January 5, 2016

Mount Joy Borough Zoning Ordinance - Attachments

Table of Off-Street Parking Requirements
(see also § 270-81.Bif within the CBD District)

Use	Number of Off-Street Parking Spaces Required	Plus 1 Off- Street Parking Space for Each:
Residential uses:		
Dwelling unit, other than types listed separately in this table	2 per dwelling unit,* except 1 per conversion apartment that only includes one bedroom or is an efficiency unit (*Note: If desired, one space may be in a garage and one space and in a driveway.)	
Townhouses and rowhouses	See § 270-62	
Home occupation	See § 270-62	
Housing permanently restricted to person 62 years and older and/or the physically handicapped (other than a retirement community)	1 per dwelling/rental unit, except 0.4 per dwelling/rental unit if evidence is presented that the nonphysically handicapped persons will clearly primarily be over 70 years old	Nonresident employee
Boardinghouse	1 per rental unit or bed for adult, whichever is greater	Nonresident employee
Group home	§ 270-62	
Institutional uses:		
Place of worship or church	1 per 5 seats in room of largest capacity	Employee
Hospital	1 per 3 beds	1.2 employees
Nursing home	1 per 5 beds	1.1 employees
Assisted living facility and/or retirement community	1 per 4 beds, plus 1.5 for each individual dwelling unit	1.1 employees
Day-care center	1 per 10 children, with spaces designed for safe and convenient dropoff and pickup	1.1 employees
School, primary or secondary	1 per 4 students aged 16 or older	Employee
Utility facility	1 per vehicle routinely needed to service facility	
College, university or trade school	1 per 1.5 students not living on campus who attend class at peak times (plus required spaces for on-campus housing)	Employee
Library, community center or cultural center or museum	1 per 5 seats (or 1 per 250 square feet of floor area accessible to patrons and/or users if seats are not typically provided)	Employee
Treatment center	1 per 2 residents aged 16 years or older, plus 1 per nonresident intended to be treated on site at peak times	Nonresident employee
Swimming pool, nonhousehold	1 per 50 square feet of water surface, other than wading pools	Employee
Commercial uses:		
	(All commercial uses, as applicable shall provide additional parking or storage needed for maximum number of vehicles stored, displayed or based at the lot at any point in time. These additional spaces are not required to meet the stall size and parking aisle width requirements of this chapter.)	
Auto service station or repair garage	5 per repair/service bay and ¼ per fuel nozzle, with such spaces separated from accessways to pumps	Employee, plus any parking needed for a convenience store under "retail uses"

January 5, 2016

- (3) Multiple uses. Where a proposed lot contains or includes more than one type of use, the number of parking spaces required shall be the sum of the parking requirements for each separate use.
- (4) Parking landscaping. See § 270-113 and § 270-114 of this chapter.

B. Parking reduction in CBD Downtown Commercial District.

- (1) Purposes: to recognize the availability of on-street parking in the CBD District and the limited ability to provide parking to serve existing buildings and the potential of customers walking to businesses in the CBD District.
- (2) The parking requirements in the Table of Off-Street Parking Requirements Editor's Note: The Table of Off-Street Parking Requirements is included at the end of this chapter. shall be modified within the CBD District as follows:

(a) No off-street parking shall be required for lawful nonresidential uses within the CBD District within buildings that existed prior to the adoption of this chapter.

(b) Off-street parking shall be required for any additional dwelling units or any new construction of any building or any expansion of a building beyond the ten-percent waiver provided in § 270-82.C(2).

(c) Optional fee in lieu of parking.

- [1] As a special exception, the Zoning Hearing Board may permit the reduction of off-street parking requirements in the CBD District if the applicant commits to pay a fee in lieu of providing a certain number of required off-street parking spaces.
- [2] For each required off-street parking that is waived, a fee shall be required of \$2,000, unless such amount is modified by resolution of Borough Council.
- [3] All such fees shall be paid to the Borough or an authority authorized by the Borough to receive such fees. All such fees shall be accounted for separately. All such fees shall only be used for the creation of additional on-street or off-street public parking to serve the downtown. Such fees may also be used for the payment of debt for improvements to increase the amount of public parking or for the acquisition of land for public parking.
- [4] The fee shall be a one-time payment. The reduction of the required number of parking spaces shall continue with the land over time, regardless of ownership or use of the property.
- [5] The application shall be offered to the Borough Planning Commission and Borough Council for any review they care to make prior to an approval by the Zoning Hearing Board.

(d) See also the provisions in § 270-82 below regarding off-site parking and flexibility in parking requirements.

- (a) The Zoning Hearing Board may require that the use be approved for period of time consistent with the lease of the parking and that a renewal of the permit shall only be approved if the parking lease is renewed.
- (2) CBD District. In the CBD District, special exception approval shall be required for three or more new off-street parking space(s) proposed between the street curb of Main Street and an existing or proposed principal building if such spaces would be at least partially within 50 feet of the curb. The Zoning Hearing Board shall only approve such parking if the applicant proves that:
 - (a) There is no feasible alternative to placing the parking in that location, as opposed to placing parking to the rear or side of the building.
 - (b) The parking and any related driveway will be designed to minimize interference with pedestrian movements along Main Street.

- F. Flexibility in parking. As a special exception, an applicant may prove to the satisfaction of the Zoning Hearing Board that the minimum amount of off-street parking should be modified for a specific application because of one or more of the following characteristics:
 - (1) The applicant proves that parking will be shared with another use that will reduce the total amount of parking needed because the uses have different peak times of parking need and that there is a legally guaranteed method to make sure that the parking will continue to be available during all of the years that the use is in operation; or
 - (2) The applicant proves that the parking demand for a particular use is unusually low because of some unusual and peculiar characteristic of the use.
- G. Within the Commercial Business District, see also § 270-81.B above.

§ 270-83. Design standards for off-street parking.

A. General requirements.

- (1) Backing onto a street. No parking area shall be designed to require or encourage parked vehicles to back into a public street in order to leave a parking space, except for a single-family or two-family dwelling with its access onto a local street or parking court. Parking spaces may back onto an alley.
- (2) Every required parking space shall be designed so that each motor vehicle may proceed to and from the parking space provided for it without requiring the moving of any other vehicle, except for spaces serving a single-family dwelling, semi-detached dwelling or townhouse dwelling.
- (3) Parking areas shall not be within a required buffer yard or street right-of-way.
- (4) Separation from street. Except for parking spaces immediately in front of individual dwellings, all areas for off-street parking, off-street loading and unloading and the storage or movement of motor vehicles shall be physically separated from the street by a continuous grass or landscaped planting strip, except for necessary and approved vehicle entrances and exits to the lot.

if submitted more than 90 days from the Council's final approval action unless the Council grants a waiver extending the effective time period for approval.

- E. The entire preliminary plan need not be submitted as a final plan. The final plan may be submitted in sections, each covering a portion of the entire proposed subdivision shown on the preliminary plan. The Council may determine what constitutes a logical section in keeping with the best interests of the Borough.
- F. If the entire preliminary plan is not submitted as a final plan and thus not approved or recorded as a final plan, within one (1) year from the approval of the preliminary plan, the Commission shall determine, as final plans are submitted, that conditions have or have not changed since the time of the preliminary plan approval to require the submission of another preliminary plan before considering the final plan for approval.

§ 240-27. Expedited processing of certain plans.

Any applicant who elects to take advantage of the sketch plan process, will, at the Applicant's option, have the right to proceed to a preliminary/final plan and forego the preliminary plan phase/processing requirements. Any land development that is to be phased shall be required to have a preliminary/final plan submitted for each phase. Additionally, Applicants for approval of a lot line change plan shall be permitted to file a single application for preliminary/final plan approval.

All plans that are filed for expedited processing shall be processed in accordance with § 240-26 herein, but shall not be required to be submitted for review as required by § 240-25. All applicants who seek expedited processing for a lot-line change plan in accordance with this section shall submit plans and documentation in accordance with the requirements of § 240-66.

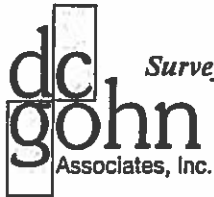
§ 240-28. Improvement construction plans.

The procedures set forth in this section shall apply as an alternative to the guaranteeing of improvements through a letter of credit or other financial security. An applicant whose improvement construction plan is approved under this section is permitted to install all or part of the improvements required by this chapter prior to final plan submission.

- A. Improvement construction plan application. After an applicant has received official notification that the preliminary plan has been approved and the required changes, if any, have been made, an application may be processed for an improvement construction plan. The improvement construction plan may be submitted in sections, each section covering a reasonable portion of the entire proposed subdivision, as shown on the approved preliminary plan.
- B. Application requirements. All improvement construction plan applications shall be made and processed in accordance with § 240-26.

§ 240-29. Recording of final plans and preliminary/final plans.

- A. Within the required timeframe established by §513 of the MPC, the final plan or preliminary/final plan shall be recorded in the office of the Recorder of Deeds in and for



Surveyors - Engineers - Landscape Architects

November 11, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Mount Joy Borough
21 E. Main Street
Mount Joy, PA 17552

SUBJECT: Gerberich-Payne Shoe Company Re-Development
Sketch Plan Modification Requests
DCG Project Number 1378-20

Ms. Stacie Gibbs:

On behalf of our client, Gatesburg Road Development, we are submitting the requested modifications for the Sketch Plan for the Gerberich-Payne Shoe Company Re-Development.

Subdivision and Land Development Ordinance

1. Section 240-43.H.1 – Improvement of Existing Streets

We request relief from the requirement that in cases where a subdivision or land development abuts an existing Borough and/or state street, the street shall be improved to the ultimate width in accordance with Subsection H(1) or as indicated on the Official Map, whichever is greater, and additional right of way shall be provided, concrete curbing, and sidewalk, and any other street improvements that are required by this Chapter, shall be constructed.

The Official Map indicates that the Alley and the portion of West Henry Street along the property frontage as proposed local streets. There are no additional requirements for any adjacent streets noted on the Official Map.

The Alley requires a 16 feet cartway and a 20 feet right of way. If improved to local street standards, it requires a 24 feet cartway and a 50 feet right of way. Currently, the Alley consists of a 15' right of way and a cartway width of 12 feet. The proposal is to maintain the existing Alley right of way of 15 feet and the cartway width of 12 feet and not upgrade the Alley to a local street standard. The Alley is proposed to be widened along the property frontage to accommodate the re-configured access to the site and provide for better maneuverability into the site. The existing building and sidewalk on the subject property and the existing building on the adjacent property are directly adjacent to the Alley which would prohibit expanding the cartway or right of way in this area.

West Henry Street requires a 24 feet cartway with curbing and no parking and a 50 feet right of way. Currently, West Henry Street consists of a 49.5 feet right of way and a cartway width of 18.1 feet. The existing street is adequate for access to the site.

West Main Street is classified as arterial which requires 36 feet cartway with curb and no parking and a 60 feet right of way. Currently, West Main Street consists of a 39 feet cartway with curb and a 60 feet right of way. The street meets current standards.

2. Section 240-57.D.(1) – Dedication of Recreation

We request relief from the requirement to dedicate recreation land. As an alternate, the project proposes private recreation areas within the interior of the building which includes:

- A Community Room (575 SF) on the 2nd floor of the building and a Library/Lounge (320 SF) on the 3rd floor of the building. Designed for large or small social and recreational gatherings, the space will be fully furnished and available for use by all residents.
- An Activity and Fitness Room (400 SF) on the 4th floor of the building. Designed for the implementation of exercise/fitness programs specific to senior residents, or the general use of residents at their leisure, the space will contain a variety of fitness equipment and be available for use by all residents.
- Signage, wall rails, finishes and decor will be installed in the common corridors and stair towers of the building to foster all residents ability "to go for a walk". These measures are ways to promote recreation, health and wellness for the tenants. Signage will show route and distance traveled from specific locations to allow for residents to plan or measure their activity to their needs. Wall rails will be installed on both sides of the corridor for assistance as needed with chairs/benches placed at intervals. All corridors and stairs will be furnished with décor and climate controlled.

Old Standby Park was recently constructed which is across Main Street from the proposed project. This area provides for recreation areas for the residents of this project. In addition, there are existing sidewalks along Main Street which encourages pedestrians to walk to destinations within the Borough.

3. Section 240-57.G – Fee In Lieu of Dedication

We request relief from the requirement to provide a fee in lieu of dedication of recreation. As an alternate, the project proposes private recreation areas within the interior of the building. In addition, the Old Standby Park is in close proximity and there are existing sidewalks along Main Street which encourages pedestrians to walk to destinations within the Borough.

4. Section 240-62.B – Traffic Study

We request relief from the requirement for applications for all residential developments containing 20 or more dwelling units and all nonresidential developments with buildings

containing 1,00 square feet of usable space shall provide a traffic study and report. The alternate is a traffic impact assessment. The assessment is based on the 36 senior apartment units, 3,000 square feet of general retail, and 3,000 square feet of restaurant. The traffic assessment indicates that there are approximately 13 AM peak trips and 46 PM peak trips for the senior housing, retail, and restaurant. The results of the capacity analyses indicate that the studied intersections currently operate at acceptable level of service and will continue to operate at acceptable level of service for the project. The results of the queue analyses indicated that the proposed redevelopment will not have any impact on the minor Stop controlled street approaches. The results of the auxiliary turn lane warrant analyses indicate that turn lanes are not warranted for traffic along Main Street turning right or left into Lumber Street. The crash data for the area indicated 2 reportable crashes. Based on the traffic assessment, the increase in traffic will not have an impact on the surrounding street network.

5. Section 240-62.B.(5) – Fee in Lieu of Traffic Impact Study

We request relief from the requirement that the applicant shall make an estimated contribution of the sum necessary to defray the costs of improvements which would be recommended by such studies. The estimated contribution shall be \$350 per dwelling unit or residential lot in a residential subdivision or land development or \$1.50 per square foot of usable building floor area in a commercial, industrial, or institutional subdivision or land development. The result contribution would be \$12,600 for the 36 apartment units and \$9,000 based on the maximum 6,000 square feet of commercial space. The alternate is a traffic impact assessment. The assessment indicates that no traffic improvements are required for the project since the studied intersections operate and will continue to operate at an acceptable level of service, the queue analyses does not impact the minor Stop controlled street approaches, turn lanes are not warranted along Main Street, and there were 2 reportable crashes. Based on the traffic assessment, the increase in traffic will not have an impact on the surrounding street network.

Call me directly if you have any questions or concerns. Thank you.

Sincerely,

D. C. GOHN ASSOCIATES, INC.

Brian R. Cooley

Brian R. Cooley
Staff Landscape Architect

cc: Gatesburg Road Development
Steve Funk, LeFevre Funk Architects Inc.
Josele Cleary, Borough Solicitor
ARRO
File



Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

October 29, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

RE: Gerberich Payne Shoe Company Redevelopment
ARRO #10863.39

Dear Stacie:

A meeting was held on Tuesday, October 20, 2020 to discuss the sketch plan prepared by D. C. Gohn Associates, Inc (Gohn) with Project No. 1378-06 and dated October 26, 2018. Attendees included representatives of the Borough, Borough Authority, developer, developer's engineer and me.

Attached is the agenda prepared by Gohn. Discussion includes the following:

1. The project will include 4,000 – 6,000 SF. of commercial space on the first floor, a total of 36 apartments on floors 1 -4 and a parking lot with 40 spaces.
2. A landscape buffer shall be provided along the west property line only.
3. A "tenant parking only" sign should be placed at the entrance to the parking lot.
4. Additional parking may be provided along West Henry Street if desired by the developer and approved by Borough Council.
5. Williams Alley was recently paved to a 12' width.
6. Traffic data from other similar facilities will be provided by the developer. ARRO will review the data and determine if a traffic impact study is required.
7. The developer mentioned he may want to provide additional off-street parking west of the existing building in the future to accommodate the commercial space.
8. The stormwater facility may be constructed at the southwest corner of the existing building.
9. Only one water service and one sanitary sewer lateral are permitted per property.


OUT IN FRONT

Stacie Gibbs, BCO
Mount Joy Borough
October 29, 2020
Page 2

10. The existing second lateral shall be capped at the main.
11. The water service must split for a domestic line and fire line outside the building and a valve placed on each line.
12. The applicant is requesting a waiver of SALDO §240-43.H.(1) which requires the right of way and cartway of Williams Alley to increase from 15' to 20' and 12' to 16' respectively and for West Henry Street to increase from 47' to 50' and 18' to a minimum of 24' with curb respectively.
13. A waiver of SALDO §240-46.B.(1) is not necessary because sidewalk is exempt on both Williams Alley and West Henry Street.
14. A waiver of SALDO §240-46.C.(1) is not necessary because sidewalk is exempt on both Williams Alley and West Henry Street.
15. The applicant is requesting waivers of SALDO §240-57.D.(1) dedication of recreation any open space and §240-57.G. payment of a fee in lieu of dedication.
16. The applicant is requesting waivers of SALDO §240-62.B traffic impact study and §240-62.B.(5) pay a fee in lieu of preparing a traffic impact study.
17. The sketch plan is anticipated to be submitted for the November Planning Commission meeting and the December Borough Council meeting.
18. The developer may submit the Preliminary/Final Land Development plan concurrently with the sketch plan.

Please call me at 717-560-6065 if you have questions.

Sincerely,



Darrel L. Becker, P.E.
Vice President

DLB:kal

Enclosures

c: Brian Cooley – D.C. Gohn Associates

MOUNT JOY BOROUGH AUTHORITY
P.O. Box 25
MOUNT JOY, PENNSYLVANIA 17552



From the Office of:
Joseph M. Ardini
Authority Manager

INCORPORATED 1948

TELEPHONE (717) 653-5938
FAX (717) 653-6680
E-MAIL: joa@mountjoypa.org

October 28, 2019

Cory Lovrak
Poole Anderson Properties dba Gatesburg Road Development
2121 Old Gatesburg Road
State College, PA 16803

Re: Gerberich-Payne Shoe Building Project, Letter of Intent to Serve Water & Sanitary Sewer

Dear Mr. Lovrak,

This letter is in response to the email sent by Brian Cooley from D.C. Gohn on October 23, 2019 on behalf of you which referenced the previously supplied Mt. Joy Water-Sewer Will Serve Letter dated July 30, 2018. The July 30, 2018 letter sent by Mount Joy Borough Authority referenced the July 25, 2018 email and letter in association with the meeting that was held on July 24, 2018 at the Mount Joy Borough Municipal Building. This letter is to confirm that the Mount Joy Borough Authority (MJBA) is capable of serving the proposed thirty-six (36) unit senior apartment project and future retail space presented to us as Mount Joy Senior Apartments located at 240 West Main Street, Mount Joy, Pa 17552. MJBA is capable of serving this project providing:

- There is NOT a moratorium on new connections to the existing water system when an active connection is requested.
- There is NOT a moratorium on new connections to the existing sanitary sewer system when an active connection is requested.
- The commitment is subject to the current Rules & Regulations adopted by MJBA.
- The commitment is subject to the current Specification & Details adopted by MJBA.
- Water mains & Sanitary Sewer mains, including any necessary offsite improvements, if deemed necessary by the project engineer, MJBA staff or MJBA engineer are designed and installed to the specifications contained within the Rules & Regulations and Specification & Details and be formally approved by MJBA.
- The owner(s) must pay the applicable fees related to water & sanitary sewer prior to building permit issued by Mount Joy Borough for the project.
- The owner(s) engineer must provide a written report confirming the existing water & sanitary sewer infrastructure can provide the needs to the project. The report will be provided to MJBA and MJBA's Engineer for review and acceptance.
- Demand within MJBA's water & sanitary system does not meet or exceed MJBA's capacity to provide service to its existing customers.
- This letter does not constitute any reservation of capacity by the developer with MJBA.
- This letter is not guaranteeing the availability of capacity at the time of the developer's request.

This Letter of Intent to Serve will be null and void after a period of one (1) year from the date of this letter. If you have any questions, please feel free to contact me at my office.

Respectfully,

A handwritten signature in black ink, appearing to read "J. M. Ardini", written over a horizontal line.

Joseph M. Ardini



Corporate Headquarters
108 West Airport Road
Lititz, PA 17543
T 717.569.7021
F 717.560.0577
www.thearrogroup.com

October 24, 2019

Mr. Joe Ardini, Assistant Manager
Mount Joy Borough Authority
P.O. Box 25
Mount Joy, PA 17552

RE: Gerberich-Payne Shoe Company – 240 W. Main St.
Water and Sewer Capacity Requests
ARRO # 10818.21

Dear Joe:

ARRO has completed its review of the revised water and sewer capacity requests as prepared by D. C. Gohn Associates, Inc. dated October 23, 2019. We found the calculations to be consistent with Pennsylvania Code 73.17 Sewage Flows. Therefore, ARRO recommends approval of the reservation request for 40 additional water and 39 additional sewer EDUs.

Should you have any questions, please feel free to contact me.

Sincerely,

A handwritten signature in black ink that reads "Matthew D. Warfel".

Matthew D. Warfel, PE
Senior Vice President

MDW:acb

c: Scott Kapcsos – MJBA
Brian Cooley – D.C. Gohn

\\LANCFILES\Lancaster-Technical\Active Projects\Mount Joy Borough Authority\Gerberich-Payne Shoe Company 10818.21\Correspondence\10818.21.02.docx

OUT IN FRONT

GEORGE J. MORGAN
WILLIAM C. CROSSWELL
ANTHONY P. SCHIMANECK
JOSELE CLEARY
ROBERT E. SISKI
JASON M. HESS

LAW OFFICES
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MICHAEL P. KANE

700 NORTH DUKE STREET
TELEPHONE 299-5251
AREA CODE 717

FAX (717) 299-6170

E-MAIL: attorneys@mhck.com

November 17, 2020

VIA E-MAIL

Stacie M. Gibbs, Zoning Officer
Mount Joy Borough
21 East Main Street
Mount Joy, PA 17552

Re: Sketch Plan for Gatesburg Road Development Gerberich Payne Shoe Company
Our File No. 16724-3

Dear Stacie:

We have been provided with a copy of the Sketch Plan for Gatesburg Road Development Gerberich Payne Shoe Company (the "Sketch Plan") filed by Mount Joy Senior Housing, LP ("Developer") and supporting documentation by Brian Cooley of D. C. Gohn Associates, Inc. The Sketch Plan proposes the rehabilitation of an existing four-story brick building on 240 West Main Street, an existing lot which contains 1.279 acres. The first floor of the building will have an unspecified commercial use, and the top three floors will be developed with 36 apartment dwellings which will be restricted to persons 62 years and older and/or who are physically handicapped. This letter will set forth our comments on the Sketch Plan.

The Property is bounded on the north by West Main Street, on the south by West Henry Street, and on the east by a 15 foot wide alley identified as a public alley. The Sketch Plan proposes that 40 off-street parking spaces will be located to the rear of the building and will be accessed from the alley. The Borough should confirm whether the alley is, in fact, a public alley. A reference on a deed that a boundary is a "public alley" does not necessary mean it is a public alley. It does not appear to be included in Chapter 255, Vehicles and Traffic. If, in fact, it is a public alley then we believe that as a condition of approval the Developer be required to reimburse the Borough for the cost to enact an ordinance to implement the recommendation in the traffic assessment prepared by Rettew Associates, Inc., i.e. that traffic be restricted to one-way heading northbound from a point 190 feet north of Henry Street to West Main Street. I would also recommend that the intersection of the alley and West Main Street and the intersection of the alley and West Henry Street have stop signs installed. If this alley is, in fact, a public alley that will be the access to 36 apartment dwellings, it would also be reasonable to name the alley.

The off-street parking is sufficient only if the apartment dwellings have the restricted occupancy. The Borough should be provided with proof that occupancy will be so restricted. Any plan to be recorded will have to have notes indicating the occupancy restriction and stating that any proposal to change the occupancy will require provision of additional off-street parking and/or reduction in the number of dwelling units.

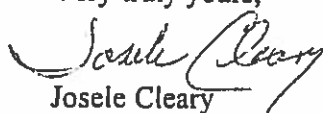
Stacie M. Gibbs, Zoning Officer
November 17, 2020
Page 2

The Sketch Plan indicates that there will be a decrease in impervious surface areas. The Sketch Plan does not indicate installation of any storm water management facilities. If there will not be any new storm water management facilities installed and there are no existing storm water management facilities, there is no need for a Storm Water Management Agreement.

The Developer is requesting numerous waivers. I assume that the Borough Engineer will comment upon the technical waivers. The Developer requests that the Borough waive both the requirement to provide open space and recreational land and, in the alternative, to pay a fee in lieu of dedication. The justification for the waiver is that there will be a community room, lounge, and 400 square foot fitness room within the Building for the use of the tenants and that there is a public park across the street. As a policy matter, we strongly recommend that the presence of a public park not be accepted as a justification for a waiver of the requirement of Section 240-57 of the Subdivision and Land Development Ordinance ("SALDO") to dedicate land for park and recreation purposes or pay a fee in lieu of dedication. The Pennsylvania Municipalities Planning Code ("MPC") and the SALDO require that fees paid in lieu of dedication of park and open space land be used for acquiring, operating, or maintaining park and recreational facilities. The fact that a park exists and is currently being maintained with taxpayer funds or funds previously paid by other developers should not be justification for any developer to be excused from paying such a fee.

If Council is willing to consider the provision of indoor recreation as justification for a waiver of the requirements to dedicate park and recreation land or pay a fee in lieu of dedicating park and recreation land, then there must be conditions upon approval to require that the indoor recreation be provided and be maintained. Section 240-57.E of the SALDO allows for a private reservation of recreation land if there is a written agreement including a restriction for such use. The general requirements of that SALDO Section could be adapted to require that the community room, lounge, and activity fitness room be included in the building and be maintained for those purposes as long as the building is occupied. There would have to be a recorded agreement and notes on the recorded plan including this requirement.

If you have any questions concerning these comments, please contact me.

Very truly yours,

Josele Cleary

JC:sle
MUNT\16724-3\201113\71

cc: Charles M. Kraus, III, Borough Manager (via e-mail)
Darrell L. Becker, P.E. (via e-mail)
Brian R. Cooley, Landscape Architect (via e-mail)

**Gerber-Payne Shoe
Company
Redevelopment**

Memo

To: Stacie Gibbs – Code Enforcement Officer
From: Dave Salley – Stormwater Enforcement Officer
cc: Dennis Nissley – Director of Public Works
Date: November 19, 2020
Re: Gerber-Payne Shoe Company Redevelopment sketch plan

- I do not have any comments at this time



November 25, 2020

Stacie Gibbs, BCO
Planning, Zoning & Code Administrator
Borough of Mount Joy
21 East Main Street
Mount Joy, PA 17552

Corporate Headquarters

108 West Airport Road

Lititz, PA 17543

T 717.569.7021

www.arroconsulting.com

RE: Gatesburg Road Development
Gerberich Payne Shoe Company Redevelopment
ARRO #10863.39

Dear Stacie:

ARRO Consulting, Inc. reviewed the following information in accordance with Section 240-63 of the Mount Joy Borough Subdivision and Land Development Ordinance.

1. Sketch plan for Gatesburg Road Development Gerberich Payne Shoe Company prepared by D.C. Gohn Associates, Inc. with Drawing # CG-2983 and dated November 11, 2020.
2. Traffic Assessment Memorandum prepared by Rettew with Project No. 041432008 and dated November 10, 2020.
3. Sketch Plan Modification Request Letter submitted by D.C. Gohn Associates, Inc. with Project No. 1378-20 and dated November 11, 2020.

We offer the following comments:

Subdivision and Land Development

1. A location map shall be provided on the plan [§240-63.B, 240-61.B.(8)].
2. The approximate location of general stormwater facilities shall be shown on the plan [§240-63.D.(6)].
3. A note shall be provided on the plan identifying any modifications intended to be requested [§240-63.D.(9)].

Zoning

4. The buffer along the west property line shall extend the length of the property line [§270-113.D.(5)(a)]. The buffer does not extend to the front property line.
5. One street tree shall be planted for each 40 foot of length of street right of way around the lot [§270-114.C.(1)]. Additional trees shall be planted along Williams Alley and West Henry Street.
6. The size and species of plants shall be provided for the buffer and street trees [§270-114.F.].

OUT IN FRONT

Traffic

7. The trips generated based on the ITE Land Use Code 820 shown in Table 1 appear to have used the average rate rather than the fitted curve equation. The equation shall be used when available.
8. The bottle neck at the adjacent Alley and West Henry Street needs to be taken into consideration and dimensioned to determine if it is feasible to maintain a two way alley from the proposed one way section to West Henry Street. Further discussion needs to be held with the Borough. (reference page 2 of 5 of the TIA memo)
9. There appears to be a typo in the AM base analysis on the intersection of Main Street, Lumber Street and Fairview Street. The right turn volume from Fairview Street should be 17 according to the traffic counts.
10. It appears the AM base analysis for the intersection of Henry Street and the Alley was conducted using the 6:00 to 7:00 AM counts even though the study indicated a peak hour of 8:00AM to 9:00AM.
11. It appears the PM existing analysis for the intersection of West Henry Street and the Alley was conducted using the 4-5PM counts even though the study indicates a peak hour of 5-6PM.
12. The existing PM analysis shows 4 vehicles turning right from eastbound Main Street. However, the counts show no vehicles making a right turn and 4 vehicles making a left turn.
13. The Turn Lane Warrant analysis for Main Street, Lumber Street and Fairview Street for the 2022 PM Peak Hour shows the advancing left turn lane volume as 17. According to the intersection analysis, it should be 18.

Modifications

The modification recommendations only apply if the final plan generally conforms with the sketch plan.

14. The applicant is requesting a modification of Section 240-43.H.I. – Providing improvements to existing streets which abut the development.

East Main Street meets the current standards so no improvements are required.

The alley is 12' wide with a 15' wide right of way. It is required to be 16' wide with a 20' wide right of way. The building on the subject tract and on the property across the alley are constructed to the existing right of way line, so additional right of way cannot be provided. Therefore, I recommend granting the requested modification for the alley.

West Henry Street is 18.1' wide with a 49.5' wide right of way. It is required to be 24' wide with a 50' wide right of way. The existing street width along the subject tract is generally consistent with the existing width of West Henry Street east of the subject tract. Therefore, I recommend granting the requested modification for West Henry Street.

15. The applicant is requesting a modification of Section 240-57.D.(1) – Dedication of Recreation Land.

Because 62.3% of the site will be developed with impervious surface there is limited area remaining for recreation area. Therefore, I recommend granting the requested modification.

16. The applicant is requesting a modification of Section 240-57.G – Providing a fee in lieu of dedication of recreation land.

The applicant's justification is they are providing recreation areas within the building and Old Standby Park is close to the site. In my opinion the applicant's justification is not acceptable because the general public may not have access to the recreation areas in the building and Old Standby Park is fully developed. The fee in lieu should be used to acquire, maintain and develop new recreation land. Therefore, I recommend denying the requested modification.

17. The applicant is requesting a modification of Section 240-62.B. – Providing a traffic study and report for residential developments containing 20 or more dwelling units.

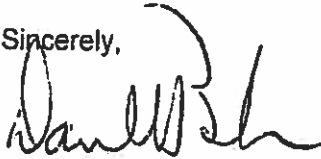
This project is proposing 36 senior housing dwelling units which will generate less traffic than a non-restricted residential development. The traffic assessment provided by the applicant is acceptable to determine the impacts to the street system by this development. Therefore, I recommend granting the requested modification.

18. The applicant is requesting a modification of Section 240-62.B.(5) – Providing a fee in lieu of preparing the traffic impact study.

I recommend granting the requested modification with conditions that the applicant pay for all administrative, engineering and legal costs to adopt an ordinance to change a portion of the alley from two-way to one-way traffic and pay for all traffic signage and pavement markings to affect the change.

Please call me at 717-560-6065 if you have questions.

Sincerely,



Darrel L. Becker, P.E.
Vice President

DLB:acb

Enclosures

- c: Casey Kraus, Manager – Borough of Mount Joy
Josele Cleary, Esquire - Morgan, Hallgren, Crosswell & Kane PC
Brian Cooley – D.C. Gohn Associates

Memo

To: Stacie Gibbs - Planning, Zoning & Code Administrator

From: Dennis Nissley, Public Works Director

CC:

Date: December 1, 2020

Re: Gerberich Payne Shoe Company Redevelopment

Upon review of the sketch plans for the project, I have following comments:

- The proposed two-way section of Williams Alley from 190' north of W. Henry St where it is proposed to be one way, should be reviewed to determine if it is feasible because of the width of Williams Alley.
- Will parking along the south side of W. Main Street need to be restricted to maintain the necessary sight distances at Williams Alley?

Stacie Gibbs

From: Samuel Clark <ftig75@gmail.com>
Sent: Wednesday, December 9, 2020 4:14 PM
To: Stacie Gibbs
Cc: Steve Johns
Subject: Re: Mount Joy Senior Housing - Sketch Plan

Thank you for sending Stacie.

Steve filled me in on the events at 85 East. I was at work for two days.

I am very familiar with this parcel and structure, we used to train in it and have been in it years ago for fire alarms.

My only input (concerns) at this time are as follows;

1. Rear access concerns for FD, adequate turn spacing for Ladder Truck access
2. FDC Access
3. Status of the sprinkler system, it was in questionable condition for years. Not sure about now. We don't know what plans for fire protection will look like, please send stuff along as it becomes available.

Thank you!

Sam

Sam and Sharon Clark & Family
Mount Joy, PA 17552

On Wed, Dec 9, 2020 at 9:47 AM Stacie Gibbs <Staci@mountjoypa.org> wrote:

See attached. If you have any comments please advise. Thanks.

Stacie Gibbs, BCO

Planning, Zoning & Code Administrator

Mount Joy Borough

21 E. Main Street

Mt Joy Senior apartments will provide the following social and recreation amenities within the building, available for use by all residents

- On-site Social Services Provider: Located on the 1st floor of the building, a social services provider will have a dedicated office space adjacent to the property manager's office. This space allows the provider to interact privately with residents as well as have a home base to facilitate operations within the building.
- Community Room: Located on the 2nd floor of the building, the community room will include a kitchenette (sink, dishwasher, range, refrigerator and microwave) and be fully furnished. The space will be designed to accommodate both large and small social or recreational gatherings as well as resident meetings, classes, info sessions or other presentations facilitated in part by the social services provider.
- Library/Lounge: Located on the 3rd floor of the building, this space will adjacent the resident laundry room. It will be fully furnished to include a television, sofa/chairs, game tables and amenities designed to provide residents and area to socialize and interact while utilizing the laundry or for any reason they choose..
- Activity and Fitness Room: Located on the 4th floor of the building, the space will be designed to implement exercise/fitness programs specific to senior residents but also available for the general use of residents at their leisure. The space will be open, but also contain a variety of fitness equipment and be available for use by all residents. Typical equipment provided includes stationary bicycles, treadmills, exercise balls, smaller free weights or dumbbells as well as yoga mats and equipment.
- Corridor Walking: As part of program to promote Health and Wellness, the building will contain directional signage, wall rails, finishes and decor within the common corridors and stair towers of the building to foster all residents ability "to go for a walk". We have found these measures to be one of the simplest and most effective ways to promote recreation, health and wellness for our tenants. Signage will show route and distance traveled from specific locations to allow for residents to plan or measure their activity to their needs. Wall rails will be installed on both sides of the corridor for assistance as needed with chairs/benches placed at intervals. All corridors and stairs will be furnished with décor and climate controlled.

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1. DISTRICT _____ CBO COMMUNITY SERVICES
2. LBNL LOT AREA _____ 1200 S.F.
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THOSE DATA SHOWN AS FOR THOSE INDIVIDUALS
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1. LOT AREA _____ BALTIMORE SQUARE FEET

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4. ZONING _____

5. DISTRICT _____

6. DISTRICT LAND USE _____

7. PROPOSED LAND USE _____

8. TYPE OF OCCUPANCY _____

9. IS IT BUILDING CONVERSION _____

10. PROP. BUILDING CONVERSION _____

11. IS IT APARTMENTS CONVERSION _____

12. PROP. APARTMENTS CONVERSION _____

13. PROP. HEIGHT _____

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12. 1. INTERNAL MAINTENANCE
2. MAINTENANCE OF EQUIPMENT
3. TOTAL MAINTENANCE
38 MAINTENANCE = 1 / INTERNAL WFR = 28 SPACES REQUIRED
1 SPACE FOR NON-EQUIPMENT CLIENTS
1 WORKER / 1 WORKSPACE CLIENTS
2 CLIENTS
TOTAL SPACES REQUIRED = 38
TOTAL SPACES PROVIDED = 40

NOTES:

THE FOLLOWING INFORMATION WAS TAKEN FROM THE ZONING REVIEW AND PHYSICAL OBSERVATION DATED SEPTEMBER 18, 2018, ON BEHALF OF THE BOARD OF CITYMANSHIP AND DEVELOPMENT:

THE PLANNED REDEVELOPMENT SHALL BE LOCATED WITHIN THE CDD ZONED COMMERCIAL PLANNING AND REDEVELOPMENT, WHICH THE CDD REPRESENTS PLANNING AND REDEVELOPMENT, USED WITHIN THE CDD DISTRICT WITH BUILDINGS THAT EXISTED PRIOR TO THE ADOPTION OF THE CHARTER.

THE BUILDING LOCATED IMMEDIATE ADJACENT PRIOR TO DEDICATION OF THE ZONING DISTRICT, HAS WITHIN THE APPROVED CDD DISTRICT, AND THE BUILDING IS LOCATED WITHIN THE CDD DISTRICT. THEREFORE, NO ADDITIONAL ZONING DISTRICT, THE CDD DISTRICT, THEREFORE, NO ADDITIONAL PLANNING DISTRICT IS REQUIRED AND NO ADDITIONAL ZONING DISTRICT IS REQUIRED. THE BUILDING OF STREET LEVEL, PROVIDING A PUBLIC STREET.

NOTES:
1. THE SITE IS SERVED AND WILL CONTINUE TO BE SERVED BY PUBLIC ENGINE AND WATER BY THE HOUSTON JOY BOATSLASH ALTHOUGH.





We answer to you.

3020 Columbia Avenue, Lancaster, PA 17603
E-mail: rettew@rettew.com • Web site: rettew.com

Phone: (800) 738-8395

MEMORANDUM

TO: Brian R. Cooley, ASLA – D.C. Gohn Associates, Inc.
FROM: John M. Schick
DATE: November 10, 2020
PROJECT NAME: Gerberich Payne Shoe Company Site
PROJECT NO.: 041432008
SUBJECT: Traffic Assessment

As per your request, we have completed our traffic assessment on the proposed redevelopment of the Gerberich Payne Shoe Company building to be converted into 36 senior housing dwelling units with a possible 3,000 SF quality sit-down restaurant and a possible 3,000 SF of general retail use. The existing building is located at the southwest corner of the intersection of West Main Street (SR 0230) and a public unnamed alley in Mount Joy Borough, Lancaster County, PA. The following summary of our data collection effort, traffic analyses, and findings for your review and comment:

EXISTING TRAFFIC CONDITIONS

Manual turning movement counts were conducted at the following intersections during the weekday morning peak period (6:00 to 9:00 a.m.) and during the afternoon peak period (3:00 to 6:00 p.m.):

- West Main Street and Alley;
- West Main Street, Fairview Street, and Lumber Street; and,
- Alley and Henry Street.

The traffic counts were taken and compiled at fifteen-minute intervals on Wednesday, November 4, 2020. The AM and PM street peak hours, based on West Main Street traffic volumes, are as follows:

- AM Peak Hour – 8:00 – 9:00 a.m.
- PM Peak Hour – 5:00 – 6:00 p.m.

A copy the traffic count summary sheets are attached to this memorandum.

CRASH ANALYSIS

Reportable crash data was obtained from the PennDOT PCIT (Pennsylvania Crash Information Tool) website and reviewed for the intersections listed above. The results of our investigation indicated that there were two (2) reportable crashes during the most recent five-year time period beginning January 1, 2015 and ending December 31, 2019. A review of the crash data shows no discernible crash patterns at any of the studied intersections. A copy of the crash data results is attached to this memorandum.

TRIP GENERATION

Estimated trip generation for the proposed redevelopment was computed using the procedures derived from the manual *Trip Generation, 10th Edition + Supplement, 2020*, an Institute of Transportation Engineers (ITE) Informational Report. The trip generation program for the proposed redevelopment for the weekday daily and weekday AM and PM peak hours are summarized on the following page in Table 1.



Table 1 - Trip Generation Program							
Land Use	ADT	AM Peak Hour			PM Peak Hour		
		In	Out	Total	In	Out	Total
36-Senior Adult Housing (Attached) (ITE Land Use Code 252)	120	2	5	7	6	5	11
3,000 SF Quality Restaurant (ITE Land Use Code 931)	252	1	1	2	16	8	24
3,000 SF General Retail (ITE Land Use Code 820)	114	2	2	4	5	6	11
Total	486	5	8	13	27	19	46

A copy of the ITE trip generation worksheet is attached to this memorandum.

The trips from the development, shown in Table 1, were distributed onto the roadway network based the following: (1) an analysis of existing traffic patterns and volumes adjacent to the site; (2) the available routes; and (3) the proposed site access location.

Based on the width of the adjacent alley and the availability of access from Lumber Street to Henry Street, we recommend that the adjacent Alley be restricted to one way northbound from 190' north of Henry Street north to West Main Street. Site generated traffic can access the parking in the rear of the building via Lumber Street and/or Henry Street from New Haven Street.

The directional distribution percentages of the new site generated traffic are displayed in Table 2 below.

Table 2 - Trip Distribution Percentages		
Direction (To/From)	Assignment (To/From)	Distribution Percentage (To/From)
East	via West Main Street to Lumber Street	45%
West	Via West Main Street to Lumber Street	40%
South	via New Haven Street to Henry Street	15%
Total		100%

FUTURE TRAFFIC CONDITIONS

In order to evaluate future traffic conditions, it was necessary to determine an appropriate growth rate for "background" traffic. PennDOT's Growth Factors for August 2020 to July 2021 provides growth factors based on the functional classification of a subject roadway. The roadways within the study area are classified as Urban Non-

Interstate Roadways. Roadways in Lancaster County with this classification have exhibited an average growth rate of 1.04% per year by PennDOT. The current traffic data was projected to the 2022 design year (expected completion and opening year) using a growth factor of 1.04% compounded annually in accordance with the following formula:

$$F = P(1 + i)^n$$

where: F - future traffic volumes

i - growth factor

P - present traffic volumes

n - number of years in projection

EXISTING AND FUTURE TRAFFIC CONDITIONS

Capacity analyses were performed at the intersections listed above for the for the following peak period scenarios:

- Existing 2020 AM and PM Peak Hour Conditions
- 2022 "Build" AM and PM Peak Hour Conditions

The capacity analyses were conducted in accordance with the methodology presented in the *Highway Capacity Manual, 6th Edition* utilizing the PTV VISTRO™ Software, Version 2021 (SP 0-1). It should be noted that existing left and right turning traffic along West Main Street at the Alley were redistributed to Lumber Street for the 2022 "Build" conditions.

Table 3 provides a summary of the level of service analysis results for the scenarios described above.

Table 3 – Level of Service Summary					
Intersection	Movement	Existing Conditions		"Build" 2022 Conditions	
		AM Peak	PM Peak	AM Peak	PM Peak
West Main Street, Fairview Street, and Lumber Street	SB Fairview Street	B (12.20)	B (16.89)	B (12.40)	B (17.79)
	WB Left Turn	A (0.03)	A (0.04)	A (0.35)	A (0.24)
	EB Left Turn	A (0.37)	A (0.53)	A (0.11)	A (0.51)
	ILOS	A (0.63)	A (1.02)	A (0.65)	A (1.14)
West Main Street and Alley	NB Alley	A (9.84)	C (15.86)	B (10.49)	A (14.38)
	WB Left	A (0.03)	A (0.03)	n/a	n/a
	ILOS	A (0.60)	A (0.69)	A (0.18)	A (0.29)
Alley and Henry Street	SB Henry Street	A (8.34)	A (8.57)	A (8.47)	A (8.72)
	EB Left	A (0.00)	A (0.00)	A (0.00)	A (0.00)
	ILOS	A (1.19)	A (3.00)	A (1.41)	A (1.52)

ILOS = Intersection Overall Level of Service

As can be seen, the intersections, and all of the critical movements, currently operate at acceptable levels of service and will continue to operate at the same acceptable levels under 2022 "build" conditions. Copies of the capacity analysis worksheets are attached to this memorandum.

QUEUE ANALYSIS

95th percentile queue analyses were also conducted at the studied intersection for the 2022 "build" conditions using the Highway Capacity Manual, 6th Edition methodology. The queue length values were calculated and taken directly from the VISTRO™ analyses. The queue analysis results are summarized in Table 4. As can be seen, there are no queue issues along any minor / stopped approaches under existing or future 2022 "build" conditions.

Table 4 – 95 TH Percentile Queue Summary					
Intersection	Movement	Existing Conditions		"Build" 2022 Conditions	
		AM Peak	PM Peak	AM Peak	PM Peak
West Main Street, Fairview Street, and Lumber Street	SB Fairview Street App	< 25'	< 25'	< 25'	< 25'
West Main Street and Alley	NB Alley App.	< 25'	< 25'	< 25'	< 25'
Alley and Henry Street	SB Henry Street App.	< 25'	< 25'	< 25'	< 25'

AUXILIARY TURN LANE ANALYSIS

In addition to capacity and queue analyses, auxiliary turn lane warrant criteria was reviewed for the left and right turning movements onto Lumber Street from West Main Street using the 2022 "build" traffic condition peak hour traffic volumes and the methodologies contained in Chapter 11 of PennDOT's Publication 46. The results of the auxiliary (left and right) turn lane warrant analyses indicated that no auxiliary turn lanes are warranted. Copies of the auxiliary turn lane warrant analyses are attached to this memorandum.

CONCLUSIONS

The overall findings and conclusions of our analyses are as follows:

- The AM and PM peak hours for the adjacent street peaks are as follows:
 - AM Peak Hour – 8:00 – 9:00 a.m.
 - PM Peak Hour – 5:00 – 6:00 p.m.
- There were two (2) reportable crashes at the studied intersections over the past five-year period. There is no discernible crash pattern at the studied intersections.
- The proposed 36 senior living dwelling units, 3,000 SF of restaurant use, and 3,000 SF of general retail use will generate approximately 486 trips per day (243 entering and 243 exiting). Of that total, approximately 13 trips will occur during the AM peak hour and approximately 46 trips will occur during the PM peak hour.
- The proposed project was assumed to be completed and operational in 2022.

5. Based on the narrowness of the adjacent Alley and the availability of access from Lumber Street to Henry Street to the site's parking lot, we recommend that the adjacent Alley be restricted to one way north from 190' north of Henry Street north to West Main Street.
6. The results of the capacity analyses indicated that the studied intersections currently operate at acceptable levels of service and will continue to operate at acceptable levels of service under 2022 "build" conditions.
7. The results of the queue analyses indicated that the proposed redevelopment will not have any impact on the minor STOP-controlled street approaches.
8. The results of the auxiliary turn lane warrant analysis indicated that turn lanes are not warranted for traffic along Main Street turning right or left onto Lumber Street.

Based on the results of our analysis, it is our opinion that the redevelopment of the Gerberich Payne Shoe Company building, will not create any adverse traffic conditions to the surrounding roadway network and no roadway improvements are warranted.

If you have any questions or wish to discuss any of the information contained within this memorandum, please feel free to call me. Thanks!

Manual Traffic Count Printouts

REMB Associates, Inc.
3020 Columbia Avenue
Lancaster, PA 17603
11/11/2020 10:00 AM

Lancaster County, PA
West Main St & Alley
Wednesday, November 4, 2020
40.111142, -76.509404

File Name : West Main Street & Alley - Weekday
Site Code :
Start Date : 11/4/20
Page No : 1

Groups Printed- Lights - Buses - Trucks

Start Time	American Legion Southbound					West Main Street Westbound					Alley Northbound					West Main Street Eastbound					Int. Total
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	
06:00 AM	0	0	0	0	0	0	16	0	0	16	2	0	0	0	2	0	34	0	0	34	52
06:15 AM	0	0	0	0	0	2	17	0	0	19	1	0	0	0	1	0	26	0	0	26	46
06:30 AM	0	0	0	0	0	0	34	0	0	34	0	0	0	0	0	0	42	0	0	42	76
06:45 AM	0	0	1	0	1	1	27	1	0	29	1	0	1	0	2	0	39	0	0	39	71
Total	0	0	1	0	1	3	94	1	0	98	4	0	1	0	5	0	141	0	0	141	245
07:00 AM	1	0	0	0	1	0	29	1	0	30	0	0	1	0	1	0	51	0	0	51	83
07:15 AM	0	0	0	0	0	0	30	0	0	30	0	0	0	0	0	0	61	0	0	61	91
07:30 AM	0	0	0	0	0	0	52	0	0	52	1	0	0	0	1	0	72	0	0	72	125
07:45 AM	1	0	0	0	1	0	37	1	0	38	2	0	0	0	2	0	69	0	0	69	110
Total	2	0	0	0	2	0	148	2	0	150	3	0	1	0	4	0	253	0	0	253	409
08:00 AM	0	0	0	0	0	1	41	0	0	42	0	0	0	0	0	0	80	0	0	80	122
08:15 AM	0	0	0	0	0	0	61	0	0	61	0	0	1	0	1	0	77	2	0	79	141
08:30 AM	0	0	0	0	0	0	79	0	0	79	0	0	1	0	1	0	67	0	0	67	147
08:45 AM	0	0	0	0	0	0	79	0	0	79	0	0	1	0	1	0	77	0	0	77	157
Total	0	0	0	0	0	1	260	0	0	261	0	0	3	0	3	0	301	2	0	303	567
03:00 PM	1	0	2	0	3	0	110	0	0	110	1	0	0	0	1	1	101	0	0	102	216
03:15 PM	1	0	0	0	1	0	115	1	0	116	1	0	1	0	2	0	105	0	0	105	224
03:30 PM	1	0	0	0	1	0	130	1	0	131	0	0	0	0	0	1	87	0	0	88	220
03:45 PM	0	0	0	0	0	0	125	2	0	127	2	0	0	0	2	0	105	0	0	105	234
Total	3	0	2	0	5	0	480	4	0	484	4	0	1	0	5	2	398	0	0	400	894
04:00 PM	0	0	2	0	2	1	126	0	0	127	3	0	1	0	4	1	99	1	0	101	234
04:15 PM	0	1	1	0	2	0	126	0	0	126	2	0	0	0	2	0	110	2	0	112	242
04:30 PM	0	1	2	0	3	0	125	3	0	128	1	0	0	0	1	3	102	0	0	105	237
04:45 PM	0	1	0	0	1	0	120	0	0	120	0	0	0	0	0	1	111	0	0	112	233
Total	0	3	5	0	8	1	497	3	0	501	6	0	1	0	7	5	422	3	0	430	946
05:00 PM	1	0	3	0	4	1	120	1	0	122	1	0	0	0	1	1	125	0	0	126	253
05:15 PM	0	0	1	0	1	0	134	2	0	136	2	0	0	0	2	1	102	0	0	103	242
05:30 PM	0	0	2	0	2	0	146	2	0	148	1	0	0	0	1	1	109	0	0	110	261
05:45 PM	0	0	1	0	1	1	161	3	0	165	1	0	0	0	1	1	102	0	0	103	270
Total	1	0	7	0	8	2	561	8	0	571	5	0	0	0	5	4	438	0	0	442	1026
Grand Total	6	3	15	0	24	7	2040	18	0	2065	22	0	7	0	29	11	1953	5	0	1969	4087
Approch %	25	12.5	62.5	0		0.3	98.8	0.9	0		75.9	0	24.1	0		0.6	99.2	0.3	0		
Total %	0.1	0.1	0.4	0	0.6	0.2	49.9	0.4	0	50.5	0.5	0	0.2	0	0.7	0.3	47.8	0.1	0	48.2	
Lights	6	3	14	0	23	7	1903	17	0	1927	22	0	7	0	29	11	1836	5	0	1852	3831
% Lights	100	100	93.3	0	95.8	100	93.3	94.4	0	93.3	100	0	100	0	100	100	94	100	0	94.1	93.7
Buses	0	0	0	0	0	0	14	0	0	14	0	0	0	0	0	0	16	0	0	16	30
% Buses	0	0	0	0	0	0	0.7	0	0	0.7	0	0	0	0	0	0	0.8	0	0	0.8	0.7
Trucks	0	0	1	0	1	0	123	1	0	124	0	0	0	0	0	0	101	0	0	101	226
% Trucks	0	0	6.7	0	4.2	0	6	5.6	0	6	0	0	0	0	0	0	5.2	0	0	5.1	5.5

IRETTEBW Associates, Inc.

3020 Columbia Avenue

Lancaster, PA 17603

Mike Vincent to you...

Lancaster County, PA
West Main St & Alley
Wednesday, November 4, 2020
40.111142, -76.509404

File Name : West Main Street & Alley - Weekday
Site Code :
Start Date : 11/4/20
Page No : 2

	American Legion Southbound					West Main Street Westbound					Alley Northbound					West Main Street Eastbound					
Start Time	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 06:00 AM to 12:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 08:00 AM																					
08:00 AM	0	0	0	0	0	1	41	0	0	42	0	0	0	0	0	0	80	0	0	80	122
08:15 AM	0	0	0	0	0	0	61	0	0	61	0	0	1	0	1	0	77	2	0	79	141
08:30 AM	0	0	0	0	0	0	79	0	0	79	0	0	1	0	1	0	67	0	0	67	147
08:45 AM	0	0	0	0	0	0	79	0	0	79	0	0	1	0	1	0	77	0	0	77	157
Total Volume	0	0	0	0	0	1	260	0	0	261	0	0	3	0	3	0	301	2	0	303	567
% App. Total	0	0	0	0	0	0.4	99.6	0	0	0	0	0	100	0	0	0	99.3	0.7	0	0	0
PHF	.000	.000	.000	.000	.000	.250	.823	.000	.000	.826	.000	.000	.750	.000	.750	.000	.941	.250	.000	.947	.903
Lights	0	0	0	0	0	1	234	0	0	235	0	0	3	0	3	0	274	2	0	276	514
% Lights	0	0	0	0	0	100	90.0	0	0	90.0	0	0	100	0	100	0	91.0	100	0	91.1	90.7
Buses	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	5	0	0	5	8
% Buses	0	0	0	0	0	0	1.2	0	0	1.1	0	0	0	0	0	0	1.7	0	0	1.7	1.4
Trucks	0	0	0	0	0	0	23	0	0	23	0	0	0	0	0	0	22	0	0	22	45
% Trucks	0	0	0	0	0	0	8.8	0	0	8.8	0	0	0	0	0	0	7.3	0	0	7.3	7.9
Peak Hour Analysis From 12:15 PM to 06:00 PM - Peak 1 of 1																					
Peak Hour for Entire Intersection Begins at 05:00 PM																					
05:00 PM	1	0	3	0	4	1	120	1	0	122	1	0	0	0	1	1	125	0	0	126	253
05:15 PM	0	0	1	0	1	0	134	2	0	136	2	0	0	0	2	1	102	0	0	103	242
05:30 PM	0	0	2	0	2	0	146	2	0	148	1	0	0	0	1	1	109	0	0	110	261
05:45 PM	0	0	1	0	1	1	161	3	0	165	1	0	0	0	1	1	102	0	0	103	270
Total Volume	1	0	7	0	8	2	561	8	0	571	5	0	0	0	5	4	438	0	0	442	1026
% App. Total	12.5	0	87.5	0	0	0.4	98.2	1.4	0	0	100	0	0	0	0	0.9	99.1	0	0	0	0
PHF	.250	.000	.583	.000	.500	.500	.871	.667	.000	.865	.625	.000	.000	.000	.625	1.00	.876	.000	.000	.877	.950
Lights	1	0	7	0	8	2	534	8	0	544	5	0	0	0	5	4	422	0	0	426	983
% Lights	100	0	100	0	100	100	95.2	100	0	95.3	100	0	0	0	100	100	96.3	0	0	96.4	95.8
Buses	0	0	0	0	0	0	3	0	0	3	0	0	0	0	0	0	1	0	0	1	4
% Buses	0	0	0	0	0	0	0.5	0	0	0.5	0	0	0	0	0	0	0.2	0	0	0.2	0.4
Trucks	0	0	0	0	0	0	24	0	0	24	0	0	0	0	0	0	15	0	0	15	39
% Trucks	0	0	0	0	0	0	4.3	0	0	4.2	0	0	0	0	0	0	3.4	0	0	3.4	3.8

IRETBSW/Associates, Inc.
3020 Columbia Avenue
Lancaster, PA 17603
Mike Hunter/tygon...

Lancaster County, PA
West Main St & Lumber St
Wednesday, November 4, 2020
40.110805, -76.508009

File Name : West Main Street & Lumber Street -Weekday
Site Code :
Start Date : 11/4/20
Page No : 1

Groups Printed- Lights - Buses - Trucks																	
Start Time	Fairview Street Southbound					West Main Street Westbound					Lumber Street Northbound		West Main Street Eastbound				
	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Peds	App. Total	Left	Thru	Right	Peds	App. Total
06:00 AM	1	0	1	0	2	0	16	0	0	16	0	0	0	34	0	0	34
06:15 AM	1	0	0	0	1	0	16	0	0	16	0	0	0	27	0	0	27
06:30 AM	4	0	0	0	4	0	34	0	0	34	0	0	0	40	0	0	40
06:45 AM	1	0	2	0	3	0	26	1	0	27	0	0	0	40	0	0	40
Total	7	0	3	0	10	0	92	1	0	93	0	0	0	141	0	0	141
07:00 AM	0	1	1	0	2	0	29	1	0	30	0	0	1	51	0	0	52
07:15 AM	4	0	6	0	10	0	31	1	0	32	0	0	1	62	0	0	63
07:30 AM	2	0	5	0	7	0	53	2	0	55	0	0	1	71	0	0	72
07:45 AM	2	0	6	0	8	0	36	0	0	36	0	0	2	70	0	0	72
Total	8	1	18	0	27	0	149	4	0	153	0	0	5	254	0	0	259
08:00 AM	2	0	6	0	8	1	45	1	0	47	0	0	0	80	0	0	80
08:15 AM	2	0	4	0	6	0	62	2	0	64	0	0	7	76	0	0	83
08:30 AM	3	0	4	0	7	0	79	2	0	81	0	0	7	70	0	0	77
08:45 AM	0	0	3	0	3	0	79	3	0	82	0	0	1	78	0	0	79
Total	7	0	17	0	24	1	265	8	0	274	0	0	15	304	0	0	319
03:00 PM	2	0	2	0	4	0	111	3	0	114	0	0	1	101	1	0	103
03:15 PM	3	0	8	0	11	0	115	1	0	116	0	0	6	104	1	0	111
03:30 PM	4	0	5	0	9	0	131	4	0	135	0	0	2	88	1	0	91
03:45 PM	1	1	9	0	11	0	124	3	0	127	0	0	6	105	1	0	112
Total	10	1	24	0	35	0	481	11	0	492	0	0	15	398	4	0	417
04:00 PM	2	0	7	0	9	2	127	3	0	132	0	0	3	100	1	0	104
04:15 PM	2	0	6	0	8	1	126	4	0	131	0	0	4	110	2	0	116
04:30 PM	0	1	3	0	4	0	125	4	0	129	0	0	7	101	0	0	108
04:45 PM	4	1	12	0	17	1	121	6	0	128	0	0	2	112	3	0	117
Total	8	2	28	0	38	4	499	17	0	520	0	0	16	423	6	0	445
05:00 PM	1	2	13	0	16	1	122	4	0	127	0	0	7	124	3	0	134
05:15 PM	1	1	4	0	6	1	135	3	0	139	0	0	6	99	1	0	106
05:30 PM	1	0	12	0	13	1	145	3	0	149	0	0	9	116	4	0	129
05:45 PM	3	0	14	0	17	0	162	6	0	168	0	0	6	103	0	0	109
Total	6	3	43	0	52	3	564	16	0	583	0	0	28	442	8	0	478
Grand Total	46	7	133	0	186	8	2050	57	0	2115	0	0	79	1962	18	0	2059
Approach %	24.7	3.8	71.5	0		0.4	96.9	2.7	0		0	0	3.8	95.3	0.9	0	
Total %	1.1	0.2	3.1	0	4.3	0.2	47	1.3	0	48.5	0	0	1.8	45	0.4	0	47.2
Lights	43	7	127	0	177	8	1913	54	0	1975	0	0	78	1845	17	0	1940
% Lights	93.5	100	95.5	0	95.2	100	93.3	94.7	0	93.4	0	0	98.7	94	94.4	0	94.2
Buses	1	0	4	0	5	0	14	3	0	17	0	0	0	16	0	0	16
% Buses	2.2	0	3	0	2.7	0	0.7	5.3	0	0.8	0	0	0	0.8	0	0	0.8
Trucks	2	0	2	0	4	0	123	0	0	123	0	0	1	101	1	0	103
% Trucks	4.3	0	1.5	0	2.2	0	6	0	0	5.8	0	0	1.3	5.1	5.6	0	5

IRENTSW/Associates, Inc.
3020 Columbia Avenue
Lancaster, PA 17603
IRENTSW@comcast.net

Lancaster County, PA
West Main St & Lumber St
Wednesday, November 4, 2020
40.110805, -76.508009

File Name : West Main Street & Lumber Street -Weekday
Site Code :
Start Date : 11/4/20
Page No : 2

	Fairview Street Southbound					West Main Street Westbound					Lumber Street Northbound		West Main Street Eastbound					
Start Time	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Int. Total
Peak Hour Analysis From 06:00 AM to 12:00 PM - Peak 1 of 1																		
Peak Hour for Entire Intersection Begins at 08:00 AM																		
08:00 AM	2	0	6	0	8	1	45	1	0	47	0	0	0	80	0	0	80	135
08:15 AM	2	0	4	0	6	0	62	2	0	64	0	0	7	76	0	0	83	153
08:30 AM	3	0	4	0	7	0	79	2	0	81	0	0	7	70	0	0	77	165
08:45 AM	0	0	3	0	3	0	79	3	0	82	0	0	1	78	0	0	79	164
Total Volume	7	0	17	0	24	1	265	8	0	274	0	0	15	304	0	0	319	617
% App. Total	29.2	0	70.8	0		0.4	96.7	2.9	0		0	0	4.7	95.3	0	0		
PHF	.583	.000	.708	.000	.750	.250	.839	.667	.000	.835	.000	.000	.536	.950	.000	.000	.961	.935
Lights	5	0	15	0	20	1	239	6	0	246	0	0	15	277	0	0	292	558
% Lights	71.4	0	88.2	0	83.3	100	90.2	75.0	0	89.8	0	0	100	91.1	0	0	91.5	90.4
Buses	0	0	1	0	1	0	3	2	0	5	0	0	0	5	0	0	5	11
% Buses	0	0	5.9	0	4.2	0	1.1	25.0	0	1.8	0	0	0	1.6	0	0	1.6	1.8
Trucks	2	0	1	0	3	0	23	0	0	23	0	0	0	22	0	0	22	48
% Trucks	28.6	0	5.9	0	12.5	0	8.7	0	0	8.4	0	0	0	7.2	0	0	6.9	7.8
Peak Hour Analysis From 12:15 PM to 06:00 PM - Peak 1 of 1																		
Peak Hour for Entire Intersection Begins at 05:00 PM																		
05:00 PM	1	2	13	0	16	1	122	4	0	127	0	0	7	124	3	0	134	277
05:15 PM	1	1	4	0	6	1	135	3	0	139	0	0	6	99	1	0	106	251
05:30 PM	1	0	12	0	13	1	145	3	0	149	0	0	9	116	4	0	129	291
05:45 PM	3	0	14	0	17	0	162	6	0	168	0	0	6	103	0	0	109	294
Total Volume	6	3	43	0	52	3	564	16	0	583	0	0	28	442	8	0	478	1113
% App. Total	11.5	5.8	82.7	0		0.5	96.7	2.7	0		0	0	5.9	92.5	1.7	0		
PHF	.500	.375	.768	.000	.765	.750	.870	.667	.000	.868	.000	.000	.778	.891	.500	.000	.892	.946
Lights	6	3	42	0	51	3	537	15	0	555	0	0	27	426	8	0	461	1067
% Lights	100	100	97.7	0	98.1	100	95.2	93.8	0	95.2	0	0	96.4	96.4	100	0	96.4	95.9
Buses	0	0	1	0	1	0	3	1	0	4	0	0	0	1	0	0	1	6
% Buses	0	0	2.3	0	1.9	0	0.5	6.3	0	0.7	0	0	0	0.2	0	0	0.2	0.5
Trucks	0	0	0	0	0	0	24	0	0	24	0	0	1	15	0	0	16	40
% Trucks	0	0	0	0	0	0	4.3	0	0	4.1	0	0	3.6	3.4	0	0	3.3	3.6

3020 Columbia Avenue
Lancaster, PA 17603

File Name : Henry St & Alley - Weekday
Site Code :
Start Date : 11/4/20
Page No : 1

Groups Printed - Lights - Buses - Trucks																					
	Alley Southbound					W Henry Street Westbound					Private Driveway Northbound					W Henry Street Eastbound					
Start Time	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Left	Thru	Right	Peds	App. Total	Int. Total
06:00 AM	0	1	0	0	1	0	0	2	0	2	0	1	0	0	1	0	0	0	0	0	4
06:15 AM	0	0	0	0	0	0	1	1	0	2	0	0	0	0	0	0	0	0	0	0	2
06:45 AM	0	0	0	0	0	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	2
Total	0	1	0	0	1	0	1	5	0	6	0	1	0	0	1	0	0	0	0	0	8
08:15 AM	1	0	0	0	1	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	2
08:30 AM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
08:45 AM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
Total	1	0	0	0	1	0	0	3	0	3	0	0	0	0	0	0	0	0	0	0	4
03:00 PM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
03:15 PM	0	0	0	0	0	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	2
03:45 PM	0	0	0	0	0	0	0	2	0	2	0	0	0	0	0	0	0	0	0	0	2
Total	0	0	0	0	0	0	0	5	0	5	0	0	0	0	0	0	0	0	0	0	5
04:00 PM	1	0	0	0	1	0	0	4	0	4	0	0	0	0	0	0	0	0	0	0	5
04:15 PM	1	0	0	0	1	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	2
04:30 PM	1	0	0	0	1	0	1	0	0	1	0	0	0	0	0	0	0	0	0	0	2
04:45 PM	1	0	0	0	1	0	1	0	0	1	0	0	0	0	0	0	1	0	0	1	3
Total	4	0	0	0	4	0	2	5	0	7	0	0	0	0	0	0	1	0	0	1	12
05:00 PM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	1	0	0	1	2
05:15 PM	0	0	0	0	0	0	0	1	0	1	0	0	0	0	0	0	0	0	0	0	1
05:45 PM	1	0	0	0	1	0	2	1	0	3	0	0	0	0	0	0	0	0	0	0	4
Total	1	0	0	0	1	0	2	3	0	5	0	0	0	0	0	0	1	0	0	1	7
Grand Total	6	1	0	0	7	0	5	21	0	26	0	1	0	0	1	0	2	0	0	2	36
Approach %	85.7	14.3	0	0		0	19.2	80.8	0		0	100	0	0		0	100	0	0		
Total%	16.7	2.8	0	0	19.4	0	13.9	58.3	0	72.2	0	2.8	0	0	2.8	0	5.6	0	0	5.6	
Lights	6	1	0	0	7	0	5	21	0	26	0	1	0	0	1	0	2	0	0	2	36
% Lights	100	100	0	0	100	0	100	100	0	100	0	100	0	0	100	0	100	0	0	100	100
Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Buses	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
% Trucks	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0

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Page No : 2

[illegible]

PennDOT Crash Summary

Pennsylvania Crash Information Tool

Crash Investigation

Date Range: 01/01/2015 to 12/31/2019

USER ID / QUERY ID:
b-jaschick / 0320201109151



MONTH OF YEAR

	MAR	SEP	TOTAL
CRASHES	1	1	2
PCT	50%	50%	100%

DAY OF WEEK

	THU	FRI	TOTAL
CRASHES	1	1	2
PCT	50%	50%	100%

HOURLY OF DAY

	04	16	TOTAL
CRASHES	1	1	2
PCT	50%	50%	100%

YEAR	CRASHES	PCT
2016	1	50%
2018	1	50%
TOTAL	2	100%

COLLISION TYPE	CRASHES	PCT
REAR END	1	50%
SAME DIR SS	1	50%
TOTAL	2	100%

CRASH SEVERITY LEVEL	CRASHES	PCT
SUSP SERIOUS	1	50%
PDO	1	50%
TOTAL	2	100%

SEVERITY COUNT	PERSONS
FATALITIES	0
SUSPECTED SERIOUS	1
SUSPECTED MINOR	0
POSSIBLE INJURY	0
UNK SEVERITY	0
UNK IF INJURED	0

DRIVER ACTIONS	ACTIONS	PCT
AFFECTED PHYSICAL COND	2	40%
NO CONTRIBUTING ACTION	2	40%
TAILGATING	1	20%
TOTAL	5	100%

VEHICLE TYPE	VEHICLES	PCT
AUTOMOBILE	3	75%
SUV	1	25%
TOTAL	4	100%

ROAD CONDITION	CRASHES	PCT
DRY	1	50%
WET	1	50%
TOTAL	2	100%

ILLUMINATION	CRASHES	PCT
DAYLIGHT	1	50%
STREET LIGHTS	1	50%
TOTAL	2	100%

WEATHER	CRASHES	PCT
CLEAR	1	50%
RAIN	1	50%
TOTAL	2	100%

ENVIR/ROADWAY FACTORS	FACTORS	PCT
NONE	2	100%
TOTAL	2	100%

IMPORTANT: This traffic engineering and safety study is confidential pursuant to 75 Pa. C.S. §3754 and 23 U.S.C. §409 and may not be disclosed or used in litigation without written permission from PennDOT.

PCIT - CRASH SUMMARY REPORT (09-06)

Print Date: 11/09/2020

Pennsylvania Crash Information Tool

Date Range: 01/01/2015 to 12/31/2019*



CRASH SEVERITY LEVEL BY YEAR

	2016 CRASHES	2018 CRASHES	ALL YEARS CRASHES
SUSPECTED SERIOUS INJURY	0	1	1
PROPERTY DMG ONLY	1	0	1
TOTAL	1	1	2

CRASH DESCRIPTION TYPES BY YEAR

	2016 CRASHES	2018 CRASHES	ALL YEARS CRASHES
REAR END	0	1	1
SAME DIRECTION SIDESWIPE	1	0	1
TOTAL	1	1	2

PERSON INJURY SUMMARY BY YEAR

	2016 PERSONS	2018 PERSONS	ALL YEARS PERSONS
FATALITIES	0	0	0
SUSPECTED SERIOUS INJURIES	0	1	1
SUSPECTED MINOR INJURIES	0	0	0
POSSIBLE INJURIES	0	0	0
UNKNOWN SEVERITY	0	0	0
UNKNOWN IF INJURED	0	0	0

* **PLEASE NOTE:** Years which do not appear in the report contain zero crashes for this request.

* Complete records of reportable crashes are available in PCIT for the following years: 2000 - 2019

* Crash information for 2020 is incomplete at the time of this printing. As such, data for 2020 is not included in this report.

IMPORTANT: The information contained in this document is drawn from raw data and should not be interpreted as representing an engineering judgement or determination made by the Department of Transportation as to the type and severity of accidents noted herein.

Print Date: 11/09/2020

PCIT - PUBLIC REQUEST / PRESS INQUIRY REPORT (01-07)

Pennsylvania Crash Information Tool

Crash Investigation

Sorted by: County, Route, Segment, Offset

Date Range: 01/01/2015 to 12/31/2019

USER ID / QUERY ID:
b-joschick / 0320201109149



CRN	CO	DATE	DAY	TIME	LIGHTING	ROAD SURF	WEATHER	FAT	INJ	PED	VEH	MAX SEVERITY	
1	<u>2016113699</u>	36	09/29/2016	THR	04:24	STREET LT	WET	RAIN	0	0	0	3	PROP DMG ONLY
ENV RDWY FACTORS: NONE												SAME DIR SIDESW	
MIDB 0230/0220/0651													
VEH: 1 SUV TRAVELING EAST IN RIGHT LANE GOING STRAIGHT												ALC TEST: 95	
VEH EVENTS: HIT UNIT 02 HIT UNIT 03													
DVR ACTIONS: AFFECTED BY PHYSICAL COND													
2	<u>2018026230</u>	36	03/02/2018	FRI	16:44	DAYLIGHT	DRY	CLEAR	0	1	0	3	SUSPECTED SERIOUS INJURY REAR-END
ENV RDWY FACTORS: NONE													
MIDB 0230/0220/1005													
VEH: 1 AUTOMOBILE TRAVELING EAST IN RIGHT LANE SLOWING OR STOPPING IN LANE													
VEH EVENTS: HIT UNIT 02 HIT OTHER FIXED OBJECT HIT OTHER FIXED OBJECT													
DVR ACTIONS: AFFECTED BY PHYSICAL COND TAILGATING													
VEH: 2 AUTOMOBILE TRAVELING EAST IN RIGHT LANE SLOWING OR STOPPING IN LANE													
VEH EVENTS: STRUCK BY UNIT 01 HIT UNIT 03													
DVR ACTIONS: NO CONTRIBUTING ACTION													
VEH: 3 AUTOMOBILE TRAVELING EAST IN RIGHT LANE SLOWING OR STOPPING IN LANE													
VEH EVENTS: STRUCK BY UNIT 02													
DVR ACTIONS: NO CONTRIBUTING ACTION													

Pennsylvania Crash Information Tool

Crash Investigation

Sorted by County, Route, Segment, Offset

NOTES:

1 **Injury Severity Disclaimer**

Please note that beginning January 1, 2016, PennDOT adopted the Federal standard for collecting injury severity data. The field descriptions and definitions changed from the state standard that had been in use for decades. This resulted in a substantial shift in severity levels. Therefore, comparison of the "Suspected Serious Injury", "Suspected Minor Injury" and "Possible Injury" categories will not be consistent for crashes taking place before versus after the adoption of the new standard.

REPORT PARAMETERS:

Query ID: 0320201109149

User ID: b-joschick

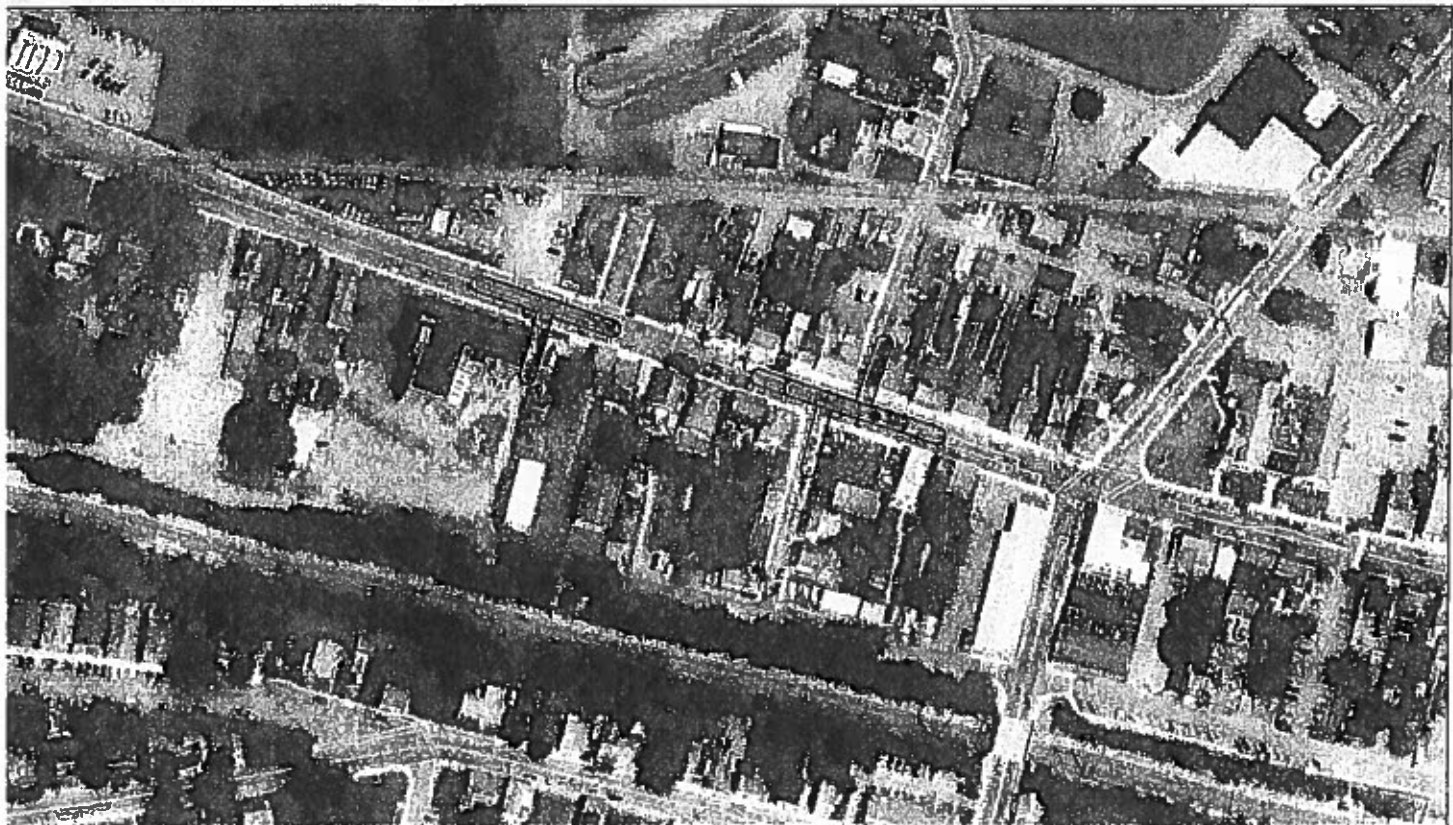
Title: Crash Investigation

Date Range: 01/01/2015 to 12/31/2019

Selected Shapes: W MAIN ST x NO NAME AL - Buffer (100 Feet), W MAIN ST x NO NAME AL, W MAIN ST x LUMBER ST - Buffer (100 Feet), W MAIN ST x LUMBER ST, W MAIN ST x FAIRVIEW ST - Buffer (100 Feet), W

Filter Characteristics:

Crash Map



November 9, 2020

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0 25 50 100 150 200 250 300 350 400 450 500 550 600 650 700 750 800 850 900 950 1000

0 25 50 100 150 200 250 300 350 400 450 500 550 600 650 700 750 800 850 900 950 1000

Scale: 1:100,000. Data: 2019. Source: OpenStreetMap (OSM), USGS, NOAA, and other public domain data.

Trip Generation Program

Scenario: 1

Scenario Name: Gerberich Payne Shoe Company

User Group:

Dev. phase: 1

No. of Years to Project:

Traffic:

Analyst Note:

Warning:

VEHICLE TRIPS

Land Use & Data Source	Location	Use	Size	Time Period	Method	Rate/Equation	Enter	Exit	Total
252 - Senior Adult Housing - Attached Data Source: Trip Gen Manual, 10th Ed + Supplement	General Urban/Suburban	Dwelling Units	36	Weekday	Best Fit (LN)	$T = 4.02(X) - 29.37$	80	80	120
			36	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Best Fit (LN)	$T = 0.20(X) - 0.18$	3	3	7
			36	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Best Fit (LN)	$T = 0.24(X) + 2.28$	5	5	11
911 - Quality Restaurant Data Source: Trip Gen Manual, 10th Ed + Supplement	General Urban/Suburban	1000 Sq Ft GFA	10	Weekday	Average		126	126	252
			10	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average		1	1	2
			10	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average		18	18	24
820 - Shopping Center Data Source: Trip Gen Manual, 10th Ed + Supplement	General Urban/Suburban	1000 Sq Ft GLA	10	Weekday	Average		57	57	114
			10	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 7 and 9 a.m.	Average		2	2	4
			10	Weekday, Peak Hour of Adjacent Street Traffic, One Hour Between 4 and 6 p.m.	Average		5	5	11

Total ADT	Enter	Exit	Total
Total AM Peak Hour	212	212	424
Total PM Peak Hour	5	8	13
	27	19	46

Capacity Analyses Printouts

Existing Conditions Capacity Analyses Printouts

Intersection Level Of Service Report

Intersection 1: Main Street, Lumber Street, and Fairview Street

Control Type:	Two-way stop	Delay (sec / veh):	16.6
Analysis Method:	HCM 6th Edition	Level Of Service:	C
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.022

Intersection Setup

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Approach				Southbound			Eastbound			Westbound		
Lane Configuration				+			+			+		
Turning Movement	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Lane Width [ft]				11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0		0	0		0	0		0	0		0
Entry Pocket Length [ft]												
No. of Lanes in Exit Pocket	0		0	0		0	0		0	0		0
Exit Pocket Length [ft]												
Speed [mph]				25.00			25.00			25.00		
Grade [%]				2.20			2.00			-2.00		
Crosswalk	Yes			Yes			Yes			No		

Volumes

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Base Volume Input [veh/h]				7	0	15	15	304	0	1	265	8
Base Volume Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]				28.60	0.00	5.90	0.00	8.90	0.00	0.00	9.80	25.00
Growth Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]				0	0	0	0	0	0	0	0	0
Site-Generated Trips [veh/h]				0	0	0	0	0	0	0	0	0
Diverted Trips [veh/h]				0	0	0	0	0	0	0	0	0
Pass-by Trips [veh/h]				0	0	0	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]				0	0	0	0	0	0	0	0	0
Other Volume [veh/h]				0	0	0	0	0	0	0	0	0
Total Hourly Volume [veh/h]				7	0	15	15	304	0	1	265	8
Peak Hour Factor				0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350
Other Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]				2	0	4	4	81	0	0	71	2
Total Analysis Volume [veh/h]				7	0	15	15	325	0	1	283	9
Pedestrian Volume [ped/h]	0			0			0					

Intersection Settings

Priority Scheme		Stop	Free	Free
Flared Lane		No		
Storage Area [veh]				
Two-Stage Gap Acceptance		No		
Number of Storage Spaces in Median				

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio				0.02	0.00	0.02	0.01			0.00		
d_M, Delay for Movement [s/veh]				16.64		10.25	7.85			7.89		
Movement LOS				C		B	A	A		A	A	A
95th-Percentile Queue Length [veh/ln]				0.14		0.14	0.04	0.04		0.00	0.00	0.00
95th-Percentile Queue Length [ft/ln]				3.44		3.44	0.95	0.95		0.06	0.06	0.06
d_A, Approach Delay [s/veh]				12.20			0.37			0.03		
Approach LOS				B			A			A		
d_I, Intersection Delay [s/veh]	0.63											
Intersection LOS	C											

Intersection Level Of Service Report
Intersection 3: Henry Street and Alley

Control Type: Two-way stop
Analysis Method: HCM 6th Edition
Analysis Period: 15 minutes

Delay (sec / veh): 8.3
Level Of Service: A
Volume to Capacity (v/c): 0.002

Intersection Setup

Name	Alley		Henry Street		Henry Street	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	9.00	9.00	9.00	9.00	9.00	9.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		15.00		15.00	
Grade [%]	5.00		0.07		-0.07	
Crosswalk	No		No		No	

Volumes

Name	Alley		Henry Street		Henry Street	
Base Volume Input [veh/h]	0	1	0	0	1	5
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	0.00	0.00	0.00	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	0	1	0	0	1	5
Peak Hour Factor	0.5000	0.5000	0.5000	0.5000	0.5000	0.5000
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	0	1	0	0	1	3
Total Analysis Volume [veh/h]	0	2	0	0	2	10
Pedestrian Volume [ped/h]						

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio	0.00	0.00	0.00			
d_M, Delay for Movement [s/veh]		8.34				
Movement LOS		A			A	A
95th-Percentile Queue Length [veh/in]		0.01			0.00	0.00
95th-Percentile Queue Length [ft/m]		0.14			0.00	0.00
d_A, Approach Delay [s/veh]	8.34				0.00	
Approach LOS	A				A	
d_I, Intersection Delay [s/veh]			1.19			
Intersection LOS			A			

Intersection Level Of Service Report
Intersection 4: Main Street and Alley

Control Type: Two-way stop
Analysis Method: HCM 6th Edition
Analysis Period: 15 minutes

Delay (sec / veh): 9.8
Level Of Service: A
Volume to Capacity (v/c): 0.004

Intersection Setup

Name	Alley		Main Street		Main Street	
Approach	Northbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Thru	Right	Left	Thru
Lane Width [ft]	9.00	9.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		25.00		25.00	
Grade [%]	-5.00		2.00		-2.00	
Crosswalk	Yes		No		Yes	

Volumes

Name	Alley		Main Street		Main Street	
Base Volume Input [veh/h]	0	3	301	2	1	260
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	9.00	0.00	10.00	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	0	3	301	2	1	260
Peak Hour Factor	0.9030	0.9030	0.9030	0.9030	0.9030	0.9030
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	0	1	83	1	0	72
Total Analysis Volume [veh/h]	0	3	333	2	1	288
Pedestrian Volume [ped/h]	0				0	

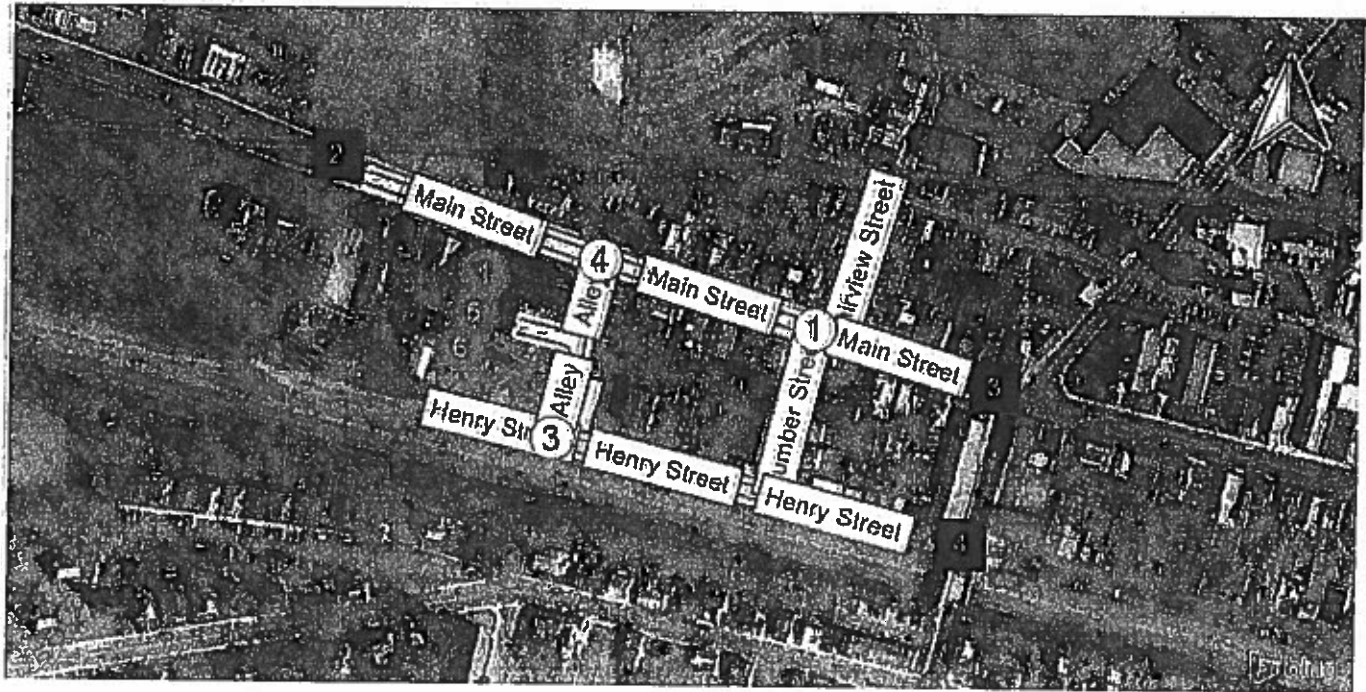
Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.00	0.00	0.00	0.00	0.00	0.00
d_M, Delay for Movement [s/veh]		9.84			8.05	
Movement LOS		A	A	A	A	A
95th-Percentile Queue Length [veh/ln]		0.01	0.00	0.00	0.00	0.00
95th-Percentile Queue Length [ft/ln]		0.30	0.00	0.00	0.06	0.06
d_A, Approach Delay [s/veh]	9.84		0.00		0.03	
Approach LOS	A		A		A	
d_I, Intersection Delay [s/veh]			0.06			
Intersection LOS			A			

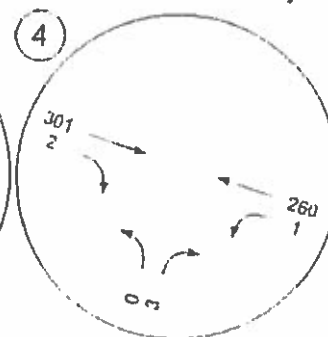
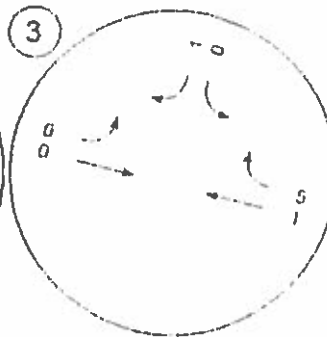
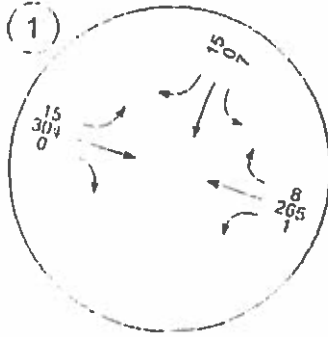
Report Figure 1a: Traffic Volume - Base Volume



Main Street, Lumber Street, a

Henry Street and Alley

Main Street and Alley



Intersection Level Of Service Report

Intersection 1: Main Street, Lumber Street, and Fairview Street

Control Type:	Two-way stop	Delay (sec / veh):	31.1
Analysis Method:	HCM 6th Edition	Level Of Service:	D
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.041

Intersection Setup

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Approach				Southbound			Eastbound			Westbound		
Lane Configuration				+			+			+		
Turning Movement	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Lane Width [ft]				11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0		0	0		0	0		0	0		0
Entry Pocket Length [ft]												
No. of Lanes in Exit Pocket	0		0	0		0	0		0	0		0
Exit Pocket Length [ft]												
Speed [mph]				25.00			25.00			25.00		
Grade [%]				2.20			2.00			-2.00		
Crosswalk	Yes			Yes			Yes			No		

Volumes

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Base Volume Input [veh/h]				6	3	43	28	442	8	4	564	16
Base Volume Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]				0.00	0.00	0.00	3.60	3.60	0.00	0.00	4.80	6.30
Growth Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]				0	0	0	0	0	0	0	0	0
Site-Generated Trips [veh/h]				0	0	0	0	0	0	0	0	0
Diverted Trips [veh/h]				0	0	0	0	0	0	0	0	0
Pass-by Trips [veh/h]				0	0	0	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]				0	0	0	0	0	0	0	0	0
Other Volume [veh/h]				0	0	0	0	0	0	0	0	0
Total Hourly Volume [veh/h]				6	3	43	28	442	8	4	564	16
Peak Hour Factor				0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470
Other Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]				2	1	11	7	117	2	1	149	4
Total Analysis Volume [veh/h]				6	3	45	30	467	8	4	596	17
Pedestrian Volume [ped/h]	0			0			0					

Intersection Settings

Priority Scheme		Stop	Free	Free
Flared Lane		No		
Storage Area [veh]				
Two-Stage Gap Acceptance		No		
Number of Storage Spaces in Median				

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio				0.04	0.02	0.09	0.03			0.00		
d_M, Delay for Movement [s/veh]				31.14	28.49	14.25	8.88			8.29		
Movement LOS				D	D	B	A	A	A	A	A	A
95th-Percentile Queue Length [veh/ln]				0.53	0.53	0.53	0.10	0.10	0.10	0.01	0.01	0.01
95th-Percentile Queue Length [ft/ln]				13.23	13.23	13.23	2.42	2.42	2.42	0.27	0.27	0.27
d_A, Approach Delay [s/veh]				16.91			0.53			0.05		
Approach LOS				C			A			A		
d_I, Intersection Delay [s/veh]							1.03					
Intersection LOS							D					

Intersection Level Of Service Report
Intersection 3: Henry Street and Alley

Control Type: Two-way stop
Analysis Method: HCM 6th Edition
Analysis Period: 15 minutes

Delay (sec / veh): 8.6
Level Of Service: A
Volume to Capacity (v/c): 0.007

Intersection Setup

Name	Alley		Henry Street		Henry Street	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	9.00	9.00	9.00	9.00	9.00	9.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		15.00		15.00	
Grade [%]	5.00		0.07		-0.07	
Crosswalk	No		No		No	

Volumes

Name	Alley		Henry Street		Henry Street	
Base Volume Input [veh/h]	4	0	0	1	2	5
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	0.00	0.00	0.00	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	4	0	0	1	2	5
Peak Hour Factor	0.6000	0.6000	0.6000	0.6000	0.6000	0.6000
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	2	0	0	0	1	2
Total Analysis Volume [veh/h]	7	0	0	2	3	8
Pedestrian Volume [ped/h]						

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio	0.01	0.00	0.00			
d_M, Delay for Movement [s/veh]	8.57					
Movement LOS	A			A	A	A
95th-Percentile Queue Length [veh/ln]	0.02			0.00	0.00	0.00
95th-Percentile Queue Length [ft/ln]	0.52			0.00	0.00	0.00
d_A, Approach Delay [s/veh]	8.57		0.00		0.00	
Approach LOS	A		A		A	
d_I, Intersection Delay [s/veh]			3.00			
Intersection LOS			A			

Intersection Level Of Service Report
Intersection 4: Main Street and Alley

Control Type: Two-way stop
 Analysis Method: HCM 6th Edition
 Analysis Period: 15 minutes

Delay (sec / veh): 15.9
 Level Of Service: C
 Volume to Capacity (v/c): 0.015

Intersection Setup

Name	Alley		Main Street		Main Street	
Approach	Northbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Thru	Right	Left	Thru
Lane Width [ft]	9.00	9.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		25.00		25.00	
Grade [%]	-5.00		2.00		-2.00	
Crosswalk	Yes		No		Yes	

Volumes

Name	Alley		Main Street		Main Street	
Base Volume Input [veh/h]	5	0	438	4	2	561
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	3.70	0.00	4.80	0.00
Growth Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	0	0	0	0	0	0
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	5	0	438	4	2	561
Peak Hour Factor	0.9500	0.9500	0.9500	0.9500	0.9500	0.9500
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	1	0	115	1	1	148
Total Analysis Volume [veh/h]	5	0	461	4	2	591
Pedestrian Volume [ped/h]	0				0	

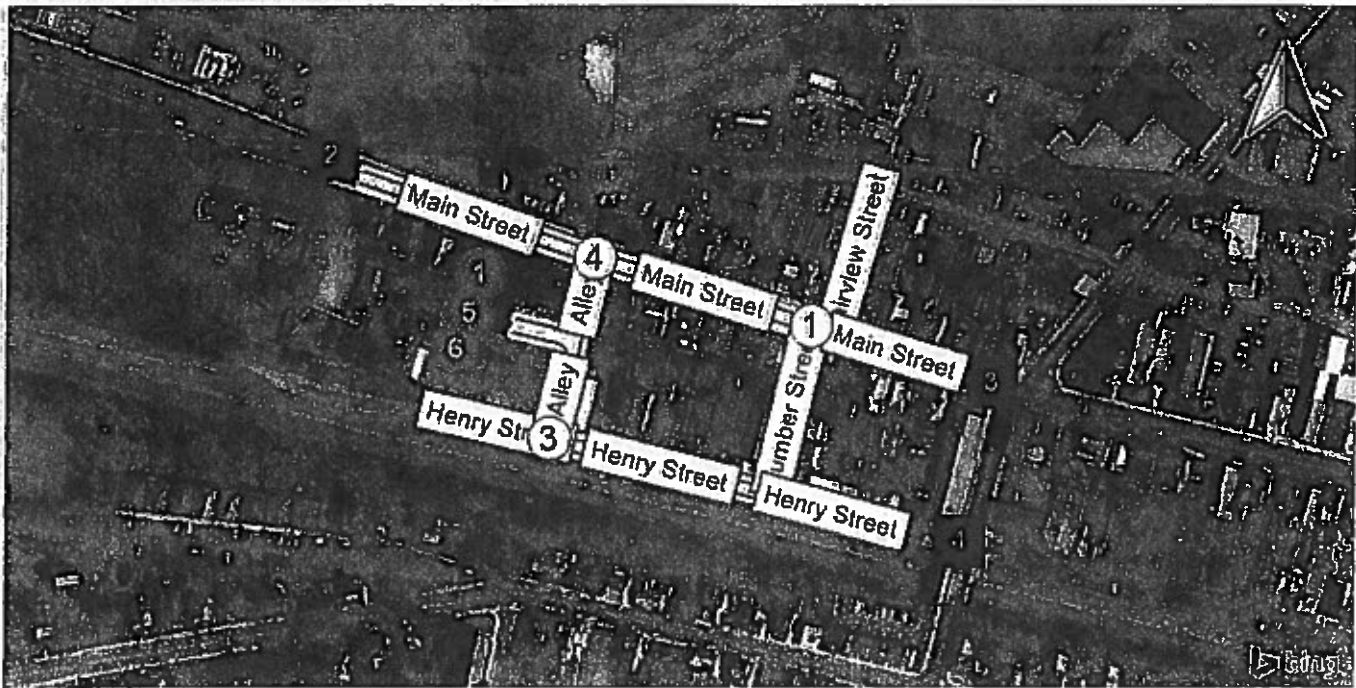
Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.01	0.00			0.00	
d_M, Delay for Movement [s/veh]	15.88				8.33	
Movement LOS	C		A	A	A	A
95th-Percentile Queue Length [veh/in]	0.05		0.00	0.00	0.01	0.01
95th-Percentile Queue Length [ft/in]	1.13		0.00	0.00	0.14	0.14
d_A, Approach Delay [s/veh]	15.88		0.00		0.03	
Approach LOS	C		A		A	
d_I, Intersection Delay [s/veh]			0.09			
Intersection LOS			C			

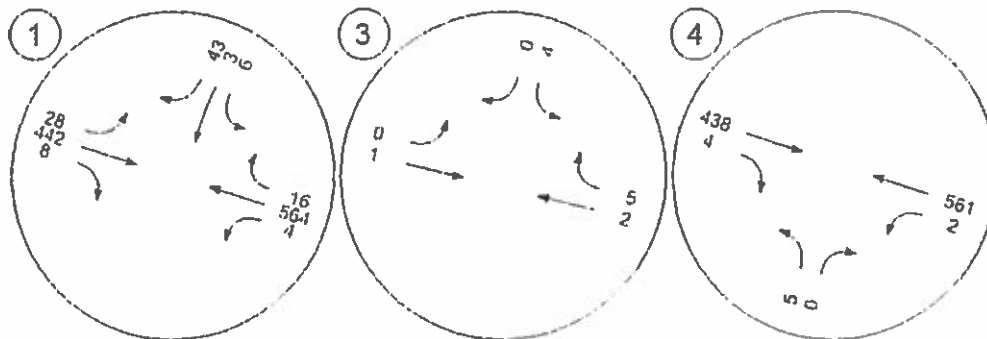
Report Figure 1a: Traffic Volume - Base Volume



Main Street, Lumber Street, a

Henry Street and Alley

Main Street and Alley



2022 Projected Capacity Analyses Printouts

Intersection Level Of Service Report

Intersection 1: Main Street, Lumber Street, and Fairview Street

Control Type:	Two-way stop	Delay (sec / veh):	17.2
Analysis Method:	HCM 6th Edition	Level Of Service:	C
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.023

Intersection Setup

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Approach				Southbound			Eastbound			Westbound		
Lane Configuration				+			+			+		
Turning Movement	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Lane Width [ft]				11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0		0	0		0	0		0	0		0
Entry Pocket Length [ft]												
No. of Lanes in Exit Pocket	0		0	0		0	0		0	0		0
Exit Pocket Length [ft]												
Speed [mph]				25.00			25.00			25.00		
Grade [%]				2.20			2.00			-2.00		
Crosswalk	Yes			Yes			Yes			No		

Volumes

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Base Volume Input [veh/h]				7	0	15	15	304	0	1	265	8
Base Volume Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]				28.60	0.00	5.90	0.00	8.90	0.00	0.00	9.80	25.00
Growth Factor				1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]				0	0	0	0	0	0	0	0	0
Site-Generated Trips [veh/h]				0	0	0	0	4	2	2	0	0
Diverted Trips [veh/h]				0	0	0	0	0	2	1	-1	0
Pass-by Trips [veh/h]				0	0	0	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]				0	0	0	0	0	0	0	0	0
Other Volume [veh/h]				0	0	0	0	0	0	0	0	0
Total Hourly Volume [veh/h]				7	0	15	15	314	4	4	270	8
Peak Hour Factor				0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350	0.9350
Other Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]				2	0	4	4	84	1	1	72	2
Total Analysis Volume [veh/h]				7	0	16	16	336	4	4	289	9
Pedestrian Volume [ped/h]	0			0			0					

Intersection Settings

Priority Scheme		Stop	Free	Free
Flared Lane		No		
Storage Area [veh]				
Two-Stage Gap Acceptance		No		
Number of Storage Spaces in Median				

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio				0.02	0.00	0.02	0.01			0.00		
d_M, Delay for Movement [s/veh]				17.19		10.31	7.86			7.94		
Movement LOS				C		B	A	A	A	A	A	A
95th-Percentile Queue Length [veh/ln]				0.14		0.14	0.04	0.04	0.04	0.01	0.01	0.01
95th-Percentile Queue Length [ft/ln]				3.54		3.54	0.95	0.95	0.95	0.24	0.24	0.24
d_A, Approach Delay [s/veh]				12.40			0.35			0.11		
Approach LOS				B			A			A		
d_I, Intersection Delay [s/veh]	0.65											
Intersection LOS	C											

Intersection Level Of Service Report
Intersection 3: Henry Street and Alley

Control Type: Two-way stop
 Analysis Method: HCM 6th Edition
 Analysis Period: 15 minutes

Delay (sec / veh): 8.6
 Level Of Service: A
 Volume to Capacity (v/c): 0.002

Intersection Setup

Name	Alley		Henry Street		Henry Street	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration	T		T		T	
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	9.00	9.00	9.00	9.00	9.00	9.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		15.00		15.00	
Grade [%]	5.00		0.07		-0.07	
Crosswalk	No		No		No	

Volumes

Name	Alley		Henry Street		Henry Street	
Base Volume Input [veh/h]	0	1	0	0	1	5
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	0.00	0.00	0.00	0.00
Growth Factor	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	1	0	0	0	0	4
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	1	1	0	0	1	9
Peak Hour Factor	0.5000	0.5000	0.5000	0.5000	0.5000	0.5000
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	1	1	0	0	1	5
Total Analysis Volume [veh/h]	2	2	0	0	2	18
Pedestrian Volume [ped/h]						

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio	0.00	0.00	0.00			
d_M, Delay for Movement [s/veh]	8.57	8.36				
Movement LOS	A	A			A	A
95th-Percentile Queue Length [veh/ln]	0.01	0.01			0.00	0.00
95th-Percentile Queue Length [ft/ln]	0.29	0.29			0.00	0.00
d_A, Approach Delay [s/veh]	8.47				0.00	
Approach LOS	A				A	
d_I, Intersection Delay [s/veh]	1.41					
Intersection LOS	A					

Intersection Level Of Service Report
Intersection 4: Main Street and Alley

Control Type: Two-way stop
Analysis Method: HCM 6th Edition
Analysis Period: 15 minutes

Delay (sec / veh): 11.9
Level Of Service: B
Volume to Capacity (v/c): 0.006

Intersection Setup

Name	Alley		Main Street		Main Street	
Approach	Northbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Thru	Right	Left	Thru
Lane Width [ft]	9.00	9.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		25.00		25.00	
Grade [%]	-5.00		2.00		-2.00	
Crosswalk	Yes		No		Yes	

Volumes

Name	Alley		Main Street		Main Street	
Base Volume Input [veh/h]	0	3	301	2	1	260
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	9.00	0.00	10.00	0.00
Growth Factor	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	3	4	2	0	0	0
Diverted Trips [veh/h]	0	0	2	-2	-1	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	3	7	311	0	0	265
Peak Hour Factor	0.9030	0.9030	0.9030	0.9030	0.9030	0.9030
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	1	2	86	0	0	73
Total Analysis Volume [veh/h]	3	8	344	0	0	293
Pedestrian Volume [ped/h]	0				0	

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.01	0.01			0.00	
d_M, Delay for Movement [s/veh]	11.87	9.97				
Movement LOS	B	A	A			A
95th-Percentile Queue Length [veh/in]	0.05	0.05	0.00			0.00
95th-Percentile Queue Length [ft/in]	1.26	1.26	0.00			0.00
d_A, Approach Delay [s/veh]	10.49		0.00		0.00	
Approach LOS	B		A		A	
d_I, Intersection Delay [s/veh]	0.18					
Intersection LOS	B					

Gerberich Payne Shoe Company

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Scenario 3 AM Peak - 2022 Build Conditions

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Trip Generation summary

Added Trips

Zone ID: Name	Land Use variables	Code	Ind. Var.	Rate	Quantity	% In	% Out	Trips In	Trips Out	Total Trips	% of Total Trips
1: AM Senior Housing	DU's	252	DU's	1.000	0.000	50.00	50.00	2	5	7	53.85
5: AM Retail	SF	820	SF	1.000	0.000	50.00	50.00	2	2	4	30.77
6: AM Restaurant	SF	931	SF	1.000	0.000	50.00	50.00	1	1	2	15.38
Added Trips Total								5	8	13	100.00

Gerberich Payne Shoe Company

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Scenario 3 AM Peak - 2022 Build Conditions

11/10/20

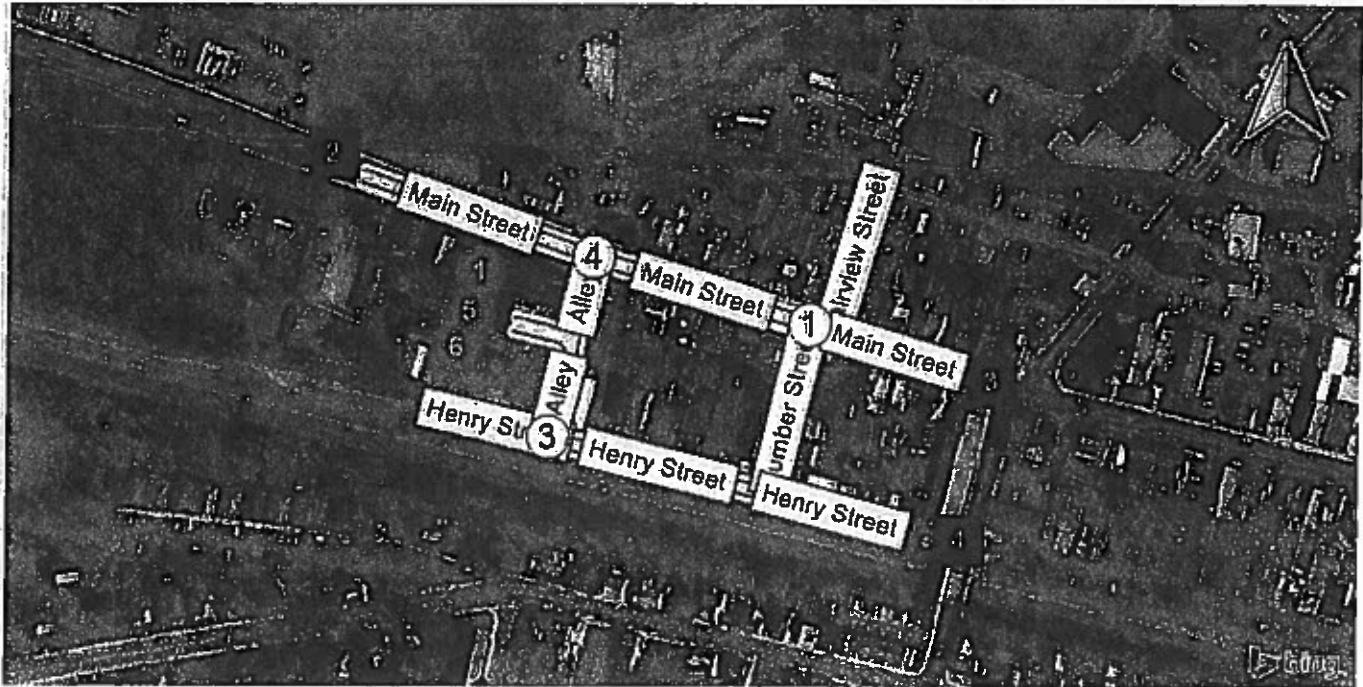
Trip Distribution summary

Zone / Gate	Zone 1: AM Senior Housing			
	To AM Senior Housing:		From AM Senior Housing:	
	Share %	Trips	Share %	Trips
5: AM Retail	0.00	0	0.00	0
6: AM Restaurant	0.00	0	0.00	0
2: Main Street - West	40.00	1	40.00	2
3: Main Street - East	45.00	1	45.00	2
4: New Haven Street - South	15.00	0	15.00	1
Total	100.00	2	100.00	5

Zone / Gate	Zone 5: AM Retail			
	To AM Retail:		From AM Retail:	
	Share %	Trips	Share %	Trips
1: AM Senior Housing	0.00	0	0.00	0
6: AM Restaurant	0.00	0	0.00	0
2: Main Street - West	40.00	1	40.00	1
3: Main Street - East	45.00	1	45.00	1
4: New Haven Street - South	15.00	0	15.00	0
Total	100.00	2	100.00	2

Zone / Gate	Zone 6: AM Restaurant			
	To AM Restaurant:		From AM Restaurant:	
	Share %	Trips	Share %	Trips
1: AM Senior Housing	0.00	0	0.00	0
5: AM Retail	0.00	0	0.00	0
2: Main Street - West	40.00	0	40.00	0
3: Main Street - East	45.00	0	45.00	1
4: New Haven Street - South	15.00	0	15.00	0
Total	100.00	0	100.00	1

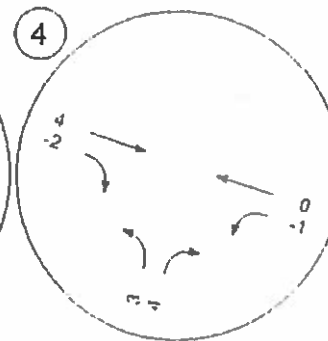
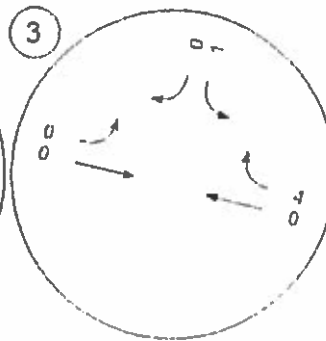
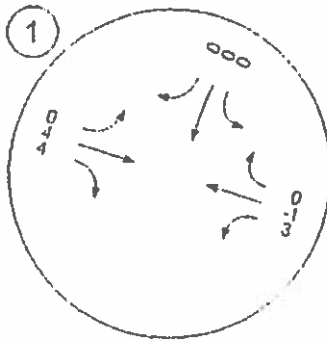
Report Figure 1d: Traffic Volume - Net New Site Trips



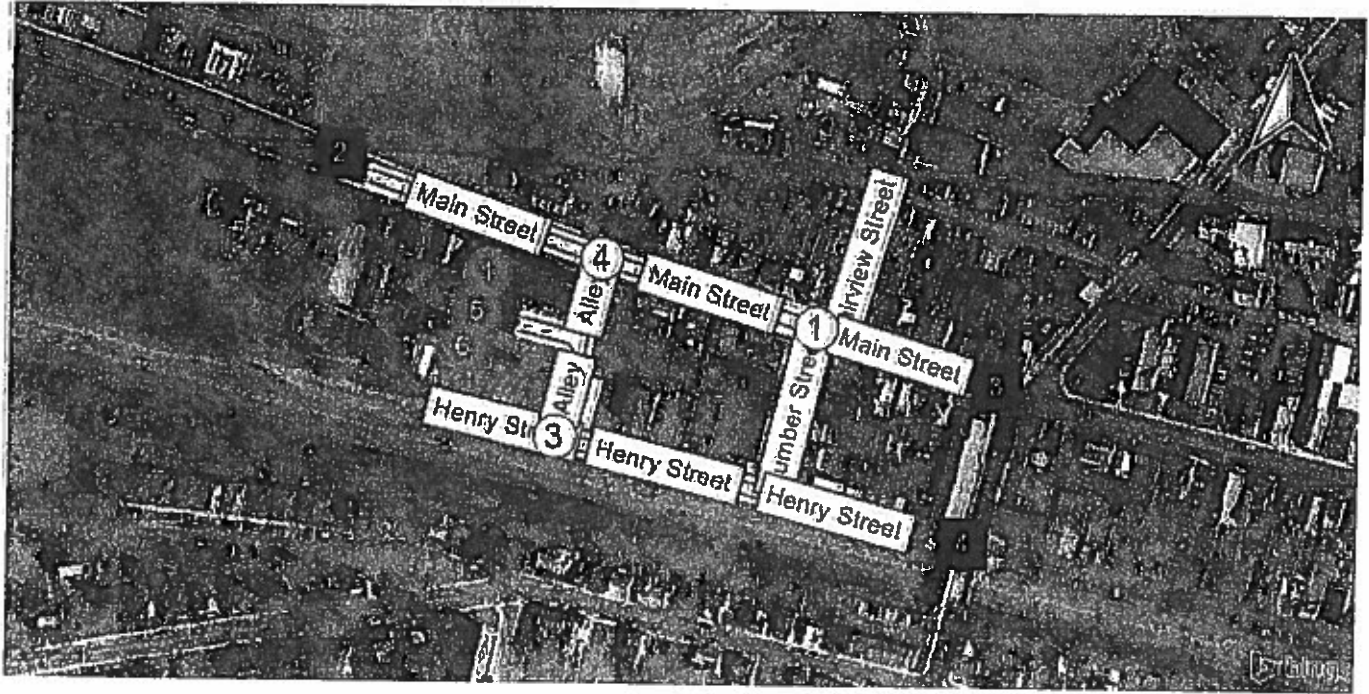
Main Street, Lumber Street, a

Henry Street and Alley

Main Street and Alley



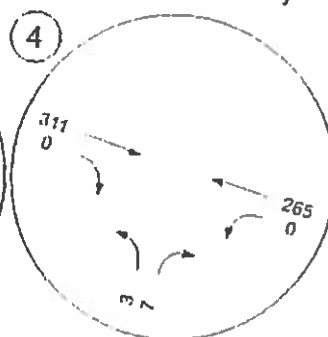
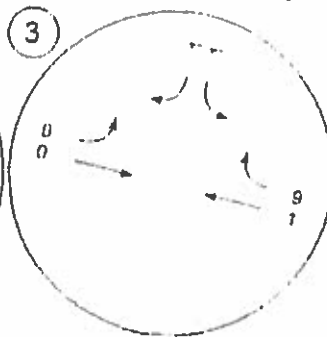
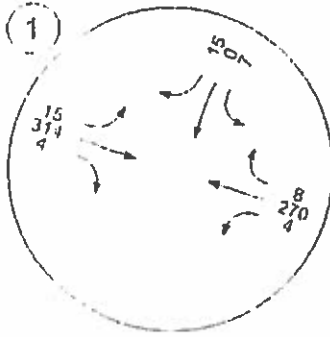
Report Figure 1f: Traffic Volume - Future Total Volume



Main Street, Lumber Street, a

Henry Street and Alley

Main Street and Alley



Intersection Level Of Service Report

Intersection 1: Main Street, Lumber Street, and Fairview Street

Control Type:	Two-way stop	Delay (sec / veh):	35.1
Analysis Method:	HCM 6th Edition	Level Of Service:	E
Analysis Period:	15 minutes	Volume to Capacity (v/c):	0.047

Intersection Setup

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Approach				Southbound			Eastbound			Westbound		
Lane Configuration				⬆			⬆			⬆		
Turning Movement	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right	Left	Thru	Right
Lane Width [ft]				11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0		0	0		0	0		0	0		0
Entry Pocket Length [ft]												
No. of Lanes in Exit Pocket	0		0	0		0	0		0	0		0
Exit Pocket Length [ft]												
Speed [mph]				25.00			25.00			25.00		
Grade [%]				2.20			2.00			-2.00		
Crosswalk	Yes			Yes			Yes			No		

Volumes

Name	Lumber Street			Fairview Street			Main Street			Main Street		
Base Volume Input [veh/h]				6	3	43	28	442	8	4	564	16
Base Volume Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]				0.00	0.00	0.00	3.60	3.60	0.00	0.00	4.80	6.30
Growth Factor				1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]				0	0	0	0	0	0	0	0	0
Site-Generated Trips [veh/h]				0	0	0	0	9	10	12	0	0
Diverted Trips [veh/h]				0	0	0	0	0	4	2	-2	0
Pass-by Trips [veh/h]				0	0	0	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]				0	0	0	0	0	0	0	0	0
Other Volume [veh/h]				0	0	0	0	0	0	0	0	0
Total Hourly Volume [veh/h]				6	3	44	29	460	22	18	574	16
Peak Hour Factor				0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470	0.9470
Other Adjustment Factor				1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]				2	1	12	8	121	6	5	152	4
Total Analysis Volume [veh/h]				6	3	46	31	486	23	19	606	17
Pedestrian Volume [ped/h]	0			0			0					

Intersection Settings

Priority Scheme		Stop	Free	Free
Flared Lane		No		
Storage Area [veh]				
Two-Stage Gap Acceptance		No		
Number of Storage Spaces in Median				

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio				0.05	0.02	0.10	0.03			0.02		
d_M, Delay for Movement [s/veh]				35.13	32.01	14.64	8.92			8.44		
Movement LOS				E	D	B	A	A	A	A	A	A
95th-Percentile Queue Length [veh/ln]				0.58	0.58	0.58	0.10	0.10	0.10	0.05	0.05	0.05
95th-Percentile Queue Length [ft/ln]				14.47	14.47	14.47	2.53	2.53	2.53	1.36	1.36	1.36
d_A, Approach Delay [s/veh]				17.82			0.51			0.25		
Approach LOS				C			A			A		
d_I, Intersection Delay [s/veh]	1.15											
Intersection LOS	E											

Intersection Level Of Service Report
Intersection 3: Henry Street and Alley

Control Type: Two-way stop
Analysis Method: HCM 6th Edition
Analysis Period: 15 minutes

Delay (sec / veh): 8.7
Level Of Service: A
Volume to Capacity (v/c): 0.012

Intersection Setup

Name	Alley		Henry Street		Henry Street	
Approach	Southbound		Eastbound		Westbound	
Lane Configuration	T		↑		↑	
Turning Movement	Left	Right	Left	Thru	Thru	Right
Lane Width [ft]	9.00	9.00	9.00	9.00	9.00	9.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		15.00		15.00	
Grade [%]	5.00		0.07		-0.07	
Crosswalk	No		No		No	

Volumes

Name	Alley		Henry Street		Henry Street	
Base Volume Input [veh/h]	4	0	0	1	2	5
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	0.00	0.00	0.00	0.00
Growth Factor	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	3	0	0	0	0	26
Diverted Trips [veh/h]	0	0	0	0	0	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	7	0	0	1	2	31
Peak Hour Factor	0.6000	0.6000	0.6000	0.6000	0.6000	0.6000
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	3	0	0	0	1	13
Total Analysis Volume [veh/h]	12	0	0	2	3	52
Pedestrian Volume [ped/h]						



Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results




V/C, Movement V/C Ratio	0.01	0.00	0.00			
d_M, Delay for Movement [s/veh]	8.72					
Movement LOS	A			A	A	A
95th-Percentile Queue Length [veh/ln]	0.04			0.00	0.00	0.00
95th-Percentile Queue Length [ft/ln]	0.93			0.00	0.00	0.00
d_A, Approach Delay [s/veh]	8.72		0.00		0.00	
Approach LOS	A		A		A	
d_I, Intersection Delay [s/veh]			1.52			
Intersection LOS			A			

Intersection Level Of Service Report
Intersection 4: Main Street and Alley

Control Type: Two-way stop
 Analysis Method: HCM 6th Edition
 Analysis Period: 15 minutes

Delay (sec / veh): 16.6
 Level Of Service: C
 Volume to Capacity (v/c): 0.040

Intersection Setup

Name	Alley		Main Street		Main Street	
Approach	Northbound		Eastbound		Westbound	
Lane Configuration						
Turning Movement	Left	Right	Thru	Right	Left	Thru
Lane Width [ft]	9.00	9.00	11.00	11.00	11.00	11.00
No. of Lanes in Entry Pocket	0	0	0	0	0	0
Entry Pocket Length [ft]						
No. of Lanes in Exit Pocket	0	0	0	0	0	0
Exit Pocket Length [ft]						
Speed [mph]	15.00		25.00		25.00	
Grade [%]	-5.00		2.00		-2.00	
Crosswalk	Yes		No		Yes	

Volumes

Name	Alley		Main Street		Main Street	
Base Volume Input [veh/h]	5	0	438	4	2	561
Base Volume Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Heavy Vehicles Percentage [%]	0.00	0.00	3.70	0.00	4.80	0.00
Growth Factor	1.0210	1.0210	1.0210	1.0210	1.0210	1.0210
In-Process Volume [veh/h]	0	0	0	0	0	0
Site-Generated Trips [veh/h]	7	9	10	0	0	0
Diverted Trips [veh/h]	0	0	4	-4	-2	0
Pass-by Trips [veh/h]	0	0	0	0	0	0
Existing Site Adjustment Volume [veh/h]	0	0	0	0	0	0
Other Volume [veh/h]	0	0	0	0	0	0
Total Hourly Volume [veh/h]	12	9	461	0	0	573
Peak Hour Factor	0.9500	0.9500	0.9500	0.9500	0.9500	0.9500
Other Adjustment Factor	1.0000	1.0000	1.0000	1.0000	1.0000	1.0000
Total 15-Minute Volume [veh/h]	3	2	121	0	0	151
Total Analysis Volume [veh/h]	13	9	485	0	0	603
Pedestrian Volume [ped/h]	0				0	

Intersection Settings

Priority Scheme	Stop	Free	Free
Flared Lane	No		
Storage Area [veh]			
Two-Stage Gap Acceptance	No		
Number of Storage Spaces in Median			

Movement, Approach, & Intersection Results

V/C, Movement V/C Ratio	0.04	0.01			0.00	
d_M, Delay for Movement [s/veh]	16.55	11.25				
Movement LOS	C	B	A			A
95th-Percentile Queue Length [veh/ln]	0.17	0.17	0.00			0.00
95th-Percentile Queue Length [ft/ln]	4.29	4.29	0.00			0.00
d_A, Approach Delay [s/veh]	14.38		0.00		0.00	
Approach LOS	B		A		A	
d_I, Intersection Delay [s/veh]				0.29		
Intersection LOS				C		

Gerberich Payne Shoe Company

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Scenario 4 PM Peak - 2022 Build Conditions

Report File: Z:\...\22BDPM.pdf

11/10/20

Trip Generation summary

Added Trips

Zone ID: Name	Land Use variables	Code	Ind. Var.	Rate	Quantity	% In	% Out	Trips In	Trips Out	Total Trips	% of Total Trips
1: PM Senior Housing	DU's	252	DU's	1.000	0.000	50.00	50.00	6	5	11	23.91
5: PM Retail	SF	820	SF	1.000	0.000	50.00	50.00	5	6	11	23.91
6: PM Restaurant	SF	931	SF	1.000	0.000	50.00	50.00	16	8	24	52.17
Added Trips Total								27	19	46	100.00

Gerberich Payne Shoe Company

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Scenario 4 PM Peak - 2022 Build Conditions

Report File: Z:\...\22BDPM.pdf

11/10/20

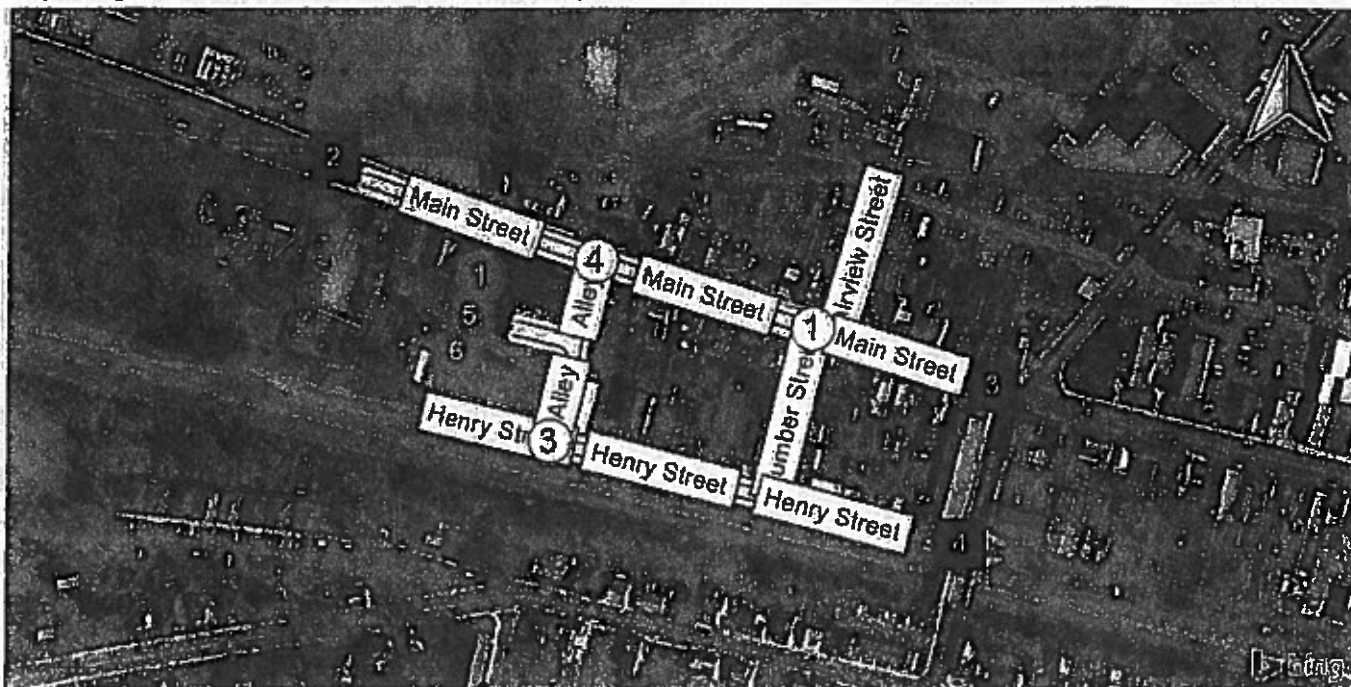
Trip Distribution summary

Zone / Gate	Zone 1: PM Senior Housing			
	To PM Senior Housing:		From PM Senior Housing:	
	Share %	Trips	Share %	Trips
5: PM Retail	0.00	0	0.00	0
6: PM Restaurant	0.00	0	0.00	0
2: Main Street - West	40.00	2	40.00	2
3: Main Street - East	45.00	3	45.00	2
4: New Haven Street - South	15.00	1	15.00	1
Total	100.00	6	100.00	5

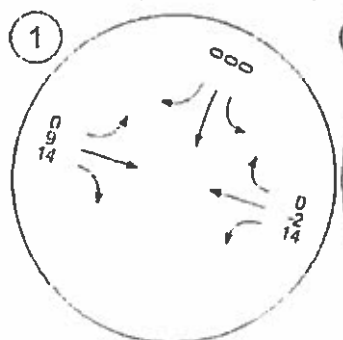
Zone / Gate	Zone 5: PM Retail			
	To PM Retail:		From PM Retail:	
	Share %	Trips	Share %	Trips
1: PM Senior Housing	0.00	0	0.00	0
6: PM Restaurant	0.00	0	0.00	0
2: Main Street - West	40.00	2	40.00	2
3: Main Street - East	45.00	2	45.00	3
4: New Haven Street - South	15.00	1	15.00	1
Total	100.00	5	100.00	6

Zone / Gate	Zone 6: PM Restaurant			
	To PM Restaurant:		From PM Restaurant:	
	Share %	Trips	Share %	Trips
1: PM Senior Housing	0.00	0	0.00	0
5: PM Retail	0.00	0	0.00	0
2: Main Street - West	40.00	6	40.00	3
3: Main Street - East	45.00	7	45.00	4
4: New Haven Street - South	15.00	2	15.00	1
Total	100.00	15	100.00	8

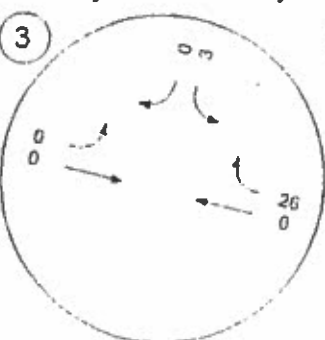
Report Figure 1d: Traffic Volume - Net New Site Trips



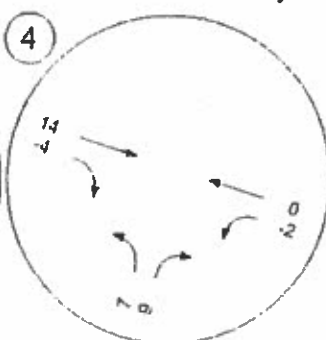
1 Main Street, Lumber Street, and Alley



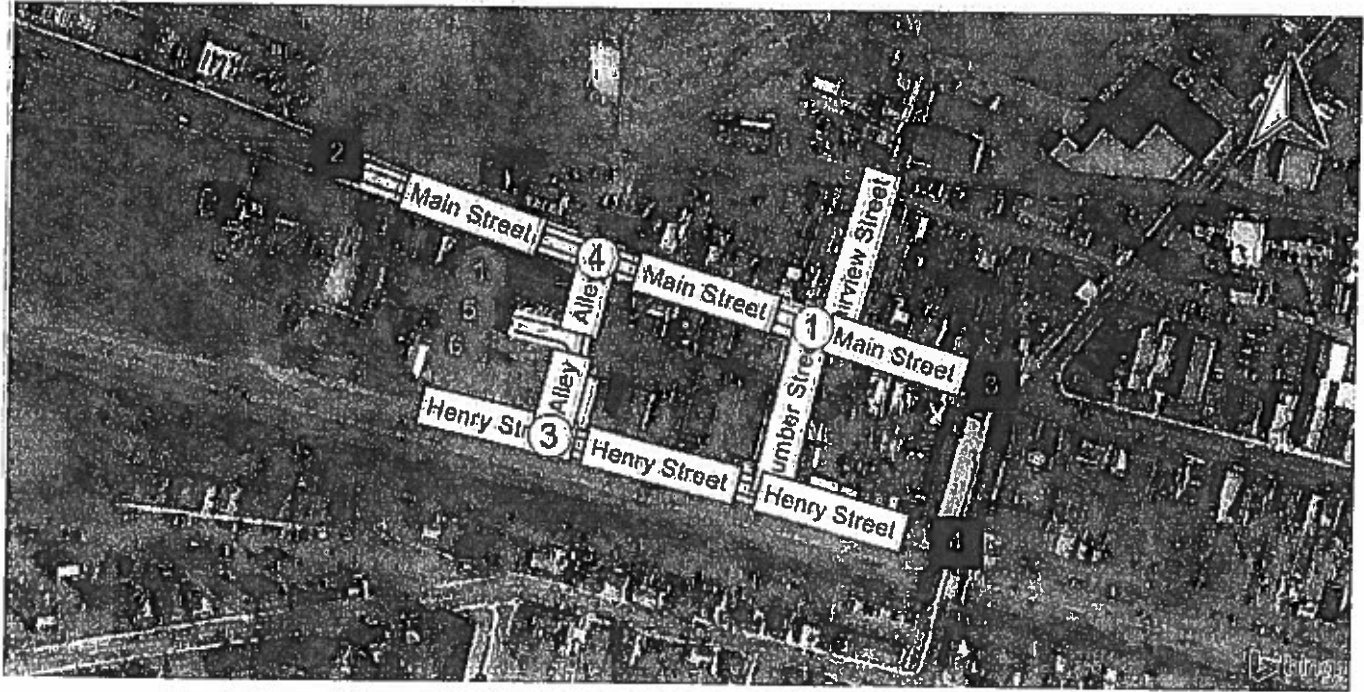
3 Henry Street and Alley



4 Main Street and Alley



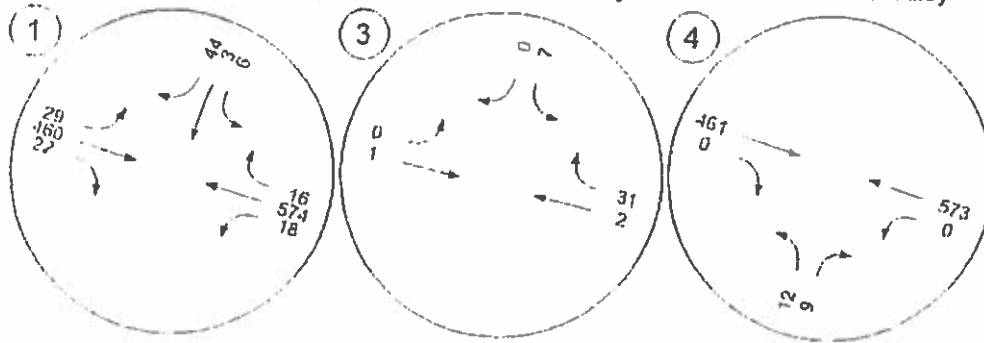
Report Figure 1f: Traffic Volume - Future Total Volume



Main Street, Lumber Street, a

Henry Street and Alley

Main Street and Alley



Auxiliary Turn Lane Warrant Analyses

Turn Lane Warrant and Length Analysis Workbook

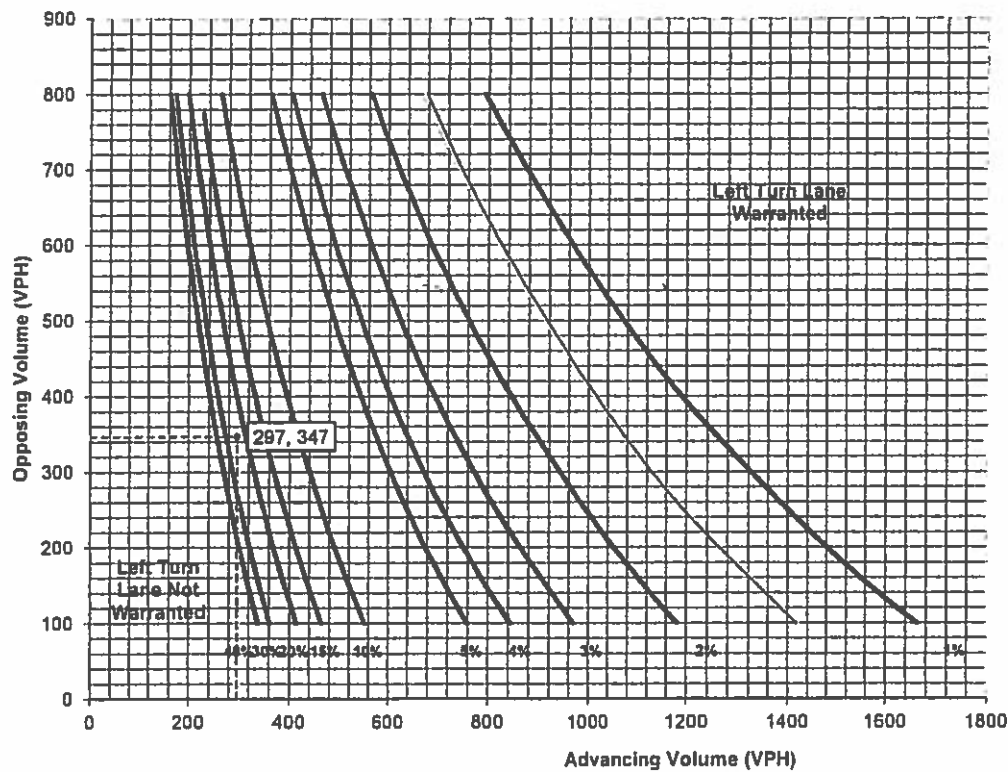
STUDY LOCATION AND ANALYSIS INFORMATION	
Municipality: Mount Joy Borough County: Lancaster County PennDOT Engineering District: 8	Analysis Date: 11/10/20 Conducted By: John M. Schick Checked By: Agency/Company Name: RETTEW Associates, Inc.
Intersection & Approach Description: Main Street (SR 0230) and Lumber Street / Fairview Street	
Analysis Period: 2022 Design Hour: AM Peak Hour Intersection Control: Unsignalized Posted Speed Limit (MPH): 25 Type of Terrain: Level	Number of Approach Lanes: 1 Undivided or Divided Highway: Undivided Type of Analysis: Left Turn Lane Left or Right-Turn Lane Analysis?: Left Turn Lane

VOLUME CALCULATIONS																																							
Left Turn Lane Volume Calculations																																							
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th>Movement</th> <th></th> <th>Include?</th> <th>Volume</th> <th>% Trucks</th> <th>PCEV</th> </tr> </thead> <tbody> <tr> <td rowspan="3">Advancing</td> <td>Left</td> <td>Yes</td> <td>4</td> <td>0.0%</td> <td>4</td> </tr> <tr> <td>Through</td> <td>-</td> <td>270</td> <td>9.8%</td> <td>284</td> </tr> <tr> <td>Right</td> <td>Yes</td> <td>8</td> <td>24.0%</td> <td>9</td> </tr> <tr> <td rowspan="3">Opposing</td> <td>Left</td> <td>Yes</td> <td>15</td> <td>0.0%</td> <td>15</td> </tr> <tr> <td>Through</td> <td>-</td> <td>314</td> <td>8.9%</td> <td>328</td> </tr> <tr> <td>Right</td> <td>Yes</td> <td>4</td> <td>0.0%</td> <td>4</td> </tr> </tbody> </table>	Movement		Include?	Volume	% Trucks	PCEV	Advancing	Left	Yes	4	0.0%	4	Through	-	270	9.8%	284	Right	Yes	8	24.0%	9	Opposing	Left	Yes	15	0.0%	15	Through	-	314	8.9%	328	Right	Yes	4	0.0%	4	Advancing Volume: 297 Opposing Volume: 347 Left Turn Volume: 4 % Left Turns in Advancing Volume: 1.35%
Movement		Include?	Volume	% Trucks	PCEV																																		
Advancing	Left	Yes	4	0.0%	4																																		
	Through	-	270	9.8%	284																																		
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Movement		Include?	Volume	% Trucks	PCEV																																		
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	Through	-	314	8.9%	N/A																																		
	Right	-	4	0.0%	N/A																																		

TURN LANE WARRANT FINDINGS	
<div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> Left Turn Lane Warrant Findings </div> Applicable Warrant Figure: Figure 1 Warrant Met?: No	<div style="border: 1px solid black; padding: 5px; margin-bottom: 5px;"> Right Turn Lane Warrant Findings </div> Applicable Warrant Figure: N/A Warrant Met?: N/A

TURN LANE LENGTH CALCULATIONS																																									
Intersection Control: Unsignalized Design Hour Volume of Turning Lane: 4 Cycles Per Hour (Assumed): 60 Cycles Per Hour (If Known): 40	Average # of Vehicles/Cycle: N/A																																								
PennDOT Publication 46, Exhibit 11-6																																									
<table border="1" style="width:100%; border-collapse: collapse;"> <thead> <tr> <th rowspan="3">Type of Traffic Control</th> <th colspan="6">Speed (MPH)</th> </tr> <tr> <th colspan="2">25-35</th> <th colspan="2">40-45</th> <th colspan="2">50-60</th> </tr> <tr> <th colspan="6">Turn Demand Volume</th> </tr> <tr> <th></th> <th>High</th> <th>Low</th> <th>High</th> <th>Low</th> <th>High</th> <th>Low</th> </tr> </thead> <tbody> <tr> <td>Signalized</td> <td>A</td> <td>A</td> <td>B or C</td> <td>B or C</td> <td>B or C</td> <td>B or C</td> </tr> <tr> <td>Unsignalized</td> <td>A</td> <td>A</td> <td>C</td> <td>B</td> <td>B or C</td> <td>B</td> </tr> </tbody> </table>		Type of Traffic Control	Speed (MPH)						25-35		40-45		50-60		Turn Demand Volume							High	Low	High	Low	High	Low	Signalized	A	A	B or C	B or C	B or C	B or C	Unsignalized	A	A	C	B	B or C	B
Type of Traffic Control	Speed (MPH)																																								
	25-35		40-45		50-60																																				
	Turn Demand Volume																																								
	High	Low	High	Low	High	Low																																			
Signalized	A	A	B or C	B or C	B or C	B or C																																			
Unsignalized	A	A	C	B	B or C	B																																			
Left Turn Lane Storage Length, Condition A: N/A Feet Condition B: N/A Feet Condition C: N/A Feet Required Left Turn Lane Storage Length: N/A Feet																																									
Additional Findings: N/A																																									
Additional Comments / Justifications: <div style="border: 1px solid black; height: 40px; margin-top: 5px;"></div>																																									

Figure 1. Warrant for left turn lanes on two-lane roadways
(speeds to 35 mph, unsignalized and signalized intersections)
(L = % Left Turns in Advancing Volume)



• Volume Data Point
— 1.3%

Turn Lane Warrant and Length Analysis Workbook

STUDY LOCATION AND ANALYSIS INFORMATION

Municipality: **Mount Joy Borough**
County: **Lancaster County**
PennDOT Engineering District: **8**

Analysis Date: **11/10/20**
Conducted By: **John M. Schrick**
Checked By:
Agency/Company Name: **RETTEW Associates, Inc.**

Intersection & Approach Description: **Main Street (SR 0230) and Lumber Street / Fairview Street**

Analysis Period: **2022**
Design Hour: **AM Peak Hour**
Intersection Control: **Unsignalized**
Posted Speed Limit (MPH): **25**
Type of Terrain: **Level**

Number of Approach Lanes: **1**
Undivided or Divided Highway: **Undivided**
Typical Analysis: **Right Turn Lane**
Left or Right-Turn Lane Analysis?: **Right Turn Lane**

VOLUME CALCULATIONS

Left Turn Lane Volume Calculations

Movement	Include?	Volume	% Trucks	PCEV
Advancing	Left	4	0.0%	N/A
	Through	270	9.8%	N/A
	Right	8	24.0%	N/A
Opposing	Left	15	0.0%	N/A
	Through	314	8.9%	N/A
	Right	4	0.0%	N/A

Advancing Volume: **N/A**
Opposing Volume: **N/A**
Left Turn Volume: **N/A**

% Left Turns in Advancing Volume: **N/A**

Right Turn Lane Volume Calculations

Movement	Include?	Volume	% Trucks	PCEV
Advancing	Left	15	0.0%	15
	Through	314	8.9%	328
	Right	4	0.0%	4

Advancing Volume: **347**
Right Turn Volume: **4**

TURN LANE WARRANT FINDINGS

Left Turn Lane Warrant Findings

Applicable Warrant Figure: **N/A**
Warrant Met?: **N/A**

Right Turn Lane Warrant Findings

Applicable Warrant Figure: **Figure 9**
Warrant Met?: **No**

TURN LANE LENGTH CALCULATIONS

Intersection Control: **Unsignalized**
Design Hour Volume of Turning Lane: **4**
Cycles Per Hour (Assumed): **60**
Cycles Per Hour (If Known): **40**

Average # of Vehicles/Cycle: **N/A**

PennDOT Publication 46, Exhibit 11-6

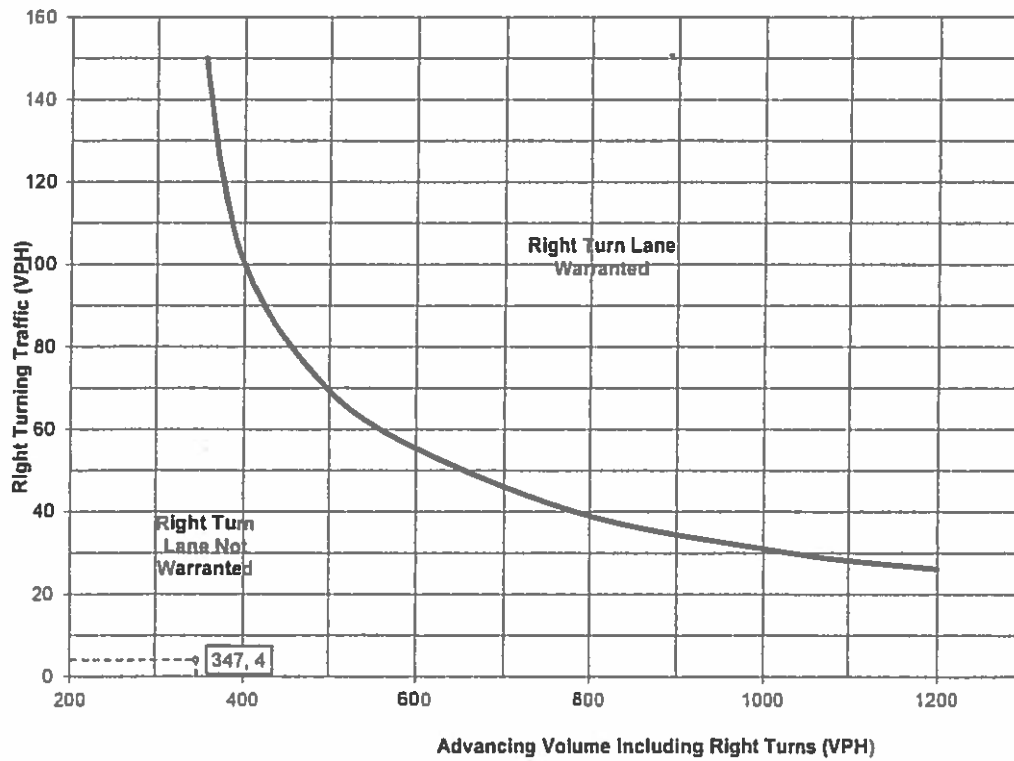
Type of Traffic Control	Speed (MPH)					
	25-35		40-45		50-60	
	High	Low	High	Low	High	Low
Signalized	A	A	B or C	B or C	B or C	B or C
Unsignalized	A	A	C	B	B or C	B

Right Turn Lane Storage Length, Condition A: **N/A** Feet
Condition B: **N/A** Feet
Condition C: **N/A** Feet
Required Right Turn Lane Storage Length: **N/A** Feet

Additional Findings: **N/A**

Additional Comments / Justifications:

**Figure 9. Warrant for right turn lanes on two-lane roadways
(40 mph or lower speeds, unsignalized and signalized intersections)**



• Volume Data Point

Turn Lane Warrant and Length Analysis Workbook

STUDY LOCATION AND ANALYSIS INFORMATION

Municipality: **Mount Joy Borough**
 County: **Lancaster County**
 PennDOT Engineering District: **8**

Analysis Date: **11/10/20**
 Conducted By: **John M. Schick**
 Checked By:
 Agency/Company Name: **RETTEW Associates, Inc.**

Intersection & Approach Description: **Main Street (SR 0230) and Lumber Street / Fairview Street**

Analysis Period: **2022**
 Design Hour: **PM Peak Hour**
 Intersection Control: **Unsignalized**
 Posted Speed Limit (MPH): **25**
 Type of Terrain: **Level**

Number of Approach Lanes: **1**
 Undivided or Divided Highway: **Undivided**

Typical Analysis: **Left Turn Lane**

VOLUME CALCULATIONS

Left Turn Lane Volume Calculations

Movement		Include?	Volume	% Trucks	PCEV
Advancing	Left	Yes	17	0.0%	17
	Through	-	574	4.8%	588
	Right	Yes	16	6.3%	17
Opposing	Left	Yes	29	3.6%	30
	Through	-	460	3.6%	469
	Right	Yes	22	0.0%	22

Advancing Volume: **622**
 Opposing Volume: **521**
 Left Turn Volume: **17**

% Left Turns in Advancing Volume: **2.73%**

Right Turn Lane Volume Calculations

Movement		Include?	Volume	% Trucks	PCEV
Advancing	Left	Yes	29	3.6%	N/A
	Through	-	460	3.6%	N/A
	Right	-	22	0.0%	N/A

Advancing Volume: **N/A**
 Right Turn Volume: **N/A**

TURN LANE WARRANT FINDINGS

Left Turn Lane Warrant Findings

Applicable Warrant Figure: **Figure 1**

Warrant Met?: **No**

Right Turn Lane Warrant Findings

Applicable Warrant Figure: **N/A**

Warrant Met?: **N/A**

TURN LANE LENGTH CALCULATIONS

Intersection Control: **Unsignalized**
 Design Hour Volume of Turning Lane: **17**
 Cycles Per Hour (Assumed): **60**
 Cycles Per Hour (If Known): **40**

Average # of Vehicles/Cycle: **N/A**

PennDOT Publication 46, Exhibit 11-6

Type of Traffic Control	Speed (MPH)					
	25-35		40-45		50-60	
	Turn Demand Volume					
	High	Low	High	Low	High	Low
Signalized	A	A	B or C	B or C	B or C	B or C
Unsignalized	A	A	C	B	B or C	B

Left Turn Lane Storage Length, Condition A: **N/A** Feet

Condition B: **N/A** Feet

Condition C: **N/A** Feet

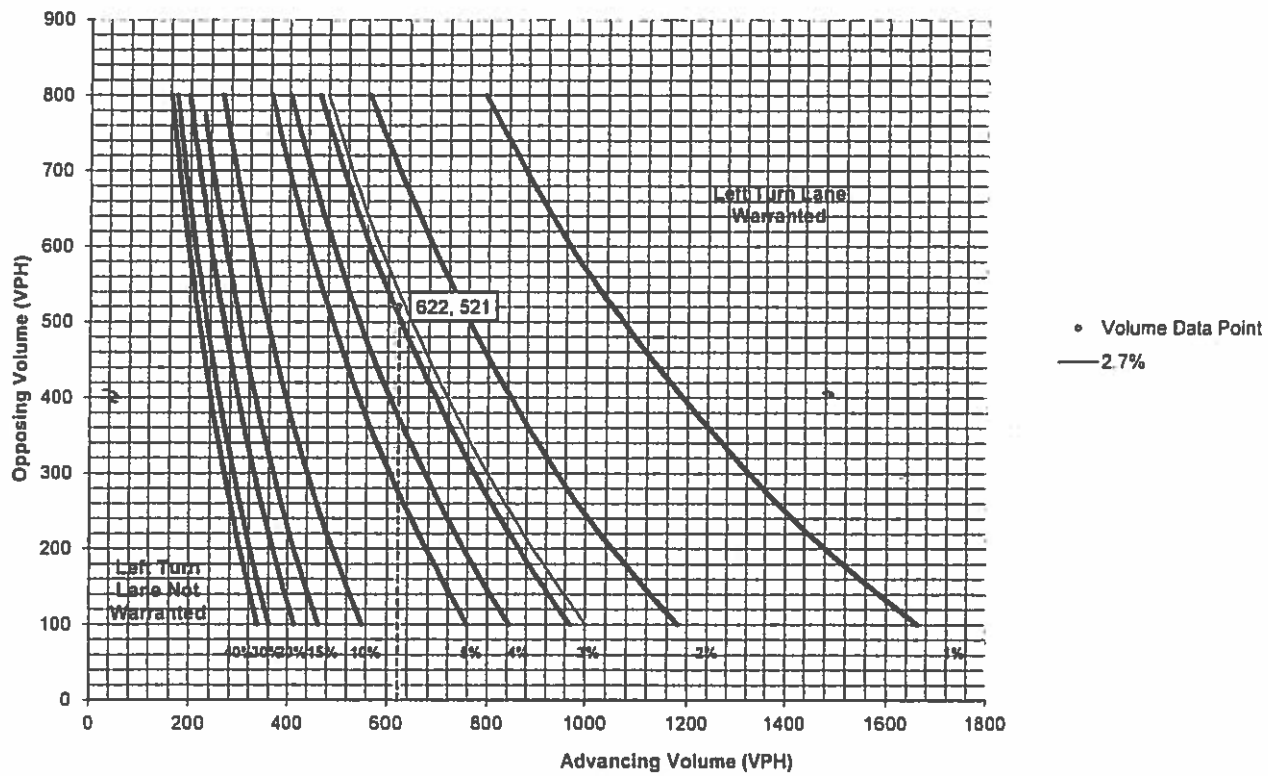
Required Left Turn Lane Storage Length: **N/A** Feet

Additional Findings:

N/A

Additional Comments / Justifications:

Figure 1. Warrant for left turn lanes on two-lane roadways
 (speeds to 35 mph, unsignalized and signalized intersections)
 (L = % Left Turns in Advancing Volume)



Turn Lane Warrant and Length Analysis Workbook

STUDY LOCATION AND ANALYSIS INFORMATION

Municipality: **Mount Joy Borough**
County: **Lancaster County**
PennDOT Engineering District: **8**

Analysis Date: **11/10/20**
Conducted By: **John M. Schick**
Checked By:
Agency/Company Name: **RETTEW Associates, Inc.**

Intersection & Approach Description: **Main Street (SR 0230) and Lumber Street / Fairview Street**

Analysis Period: **2022**
Design Hour: **PM Peak Hour**
Intersection Control: **Unsignalized**
Posted Speed Limit (MPH): **25**
Type of Terrain: **Level**

Number of Approach Lanes: **1**
Undivided or Divided Highway: **Undivided**

Type of Analysis: **Typical Analysis**
Left or Right-Turn Lane Analysis?: **Right Turn Lane**

VOLUME CALCULATIONS

Left Turn Lane Volume Calculations

Movement		Include?	Volume	% Trucks	PCEV
Advancing	Left	Yes	17	0.0%	N/A
	Through	-	574	4.8%	N/A
	Right	Yes	16	6.3%	N/A
Opposing	Left	Yes	29	3.6%	N/A
	Through	-	460	3.6%	N/A
	Right	Yes	22	0.0%	N/A

Advancing Volume: **N/A**
Opposing Volume: **N/A**
Left Turn Volume: **N/A**

% Left Turns in Advancing Volume: **N/A**

Right Turn Lane Volume Calculations

Movement		Include?	Volume	% Trucks	PCEV
Advancing	Left	Yes	29	3.6%	30
	Through	-	460	3.6%	469
	Right	-	22	0.0%	22

Advancing Volume: **521**
Right Turn Volume: **22**

TURN LANE WARRANT FINDINGS

Left Turn Lane Warrant Findings

Applicable Warrant Figure: **N/A**
Warrant Met?: **N/A**

Right Turn Lane Warrant Findings

Applicable Warrant Figure: **Figure 9**
Warrant Met?: **No**

TURN LANE LENGTH CALCULATIONS

Intersection Control: **Unsignalized**
Design Hour Volume of Turning Lane: **22**
Cycles Per Hour (Assumed): **60**
Cycles Per Hour (If Known): **40**

Average # of Vehicles/Cycle: **N/A**

PennDOT Publication 46, Exhibit 11-6

Type of Traffic Control	Speed (MPH)					
	25-35		40-45		50-60	
	High	Low	High	Low	High	Low
Signalized	A	A	B or C	B or C	B or C	B or C
Unsignalized	A	A	C	B	B or C	B

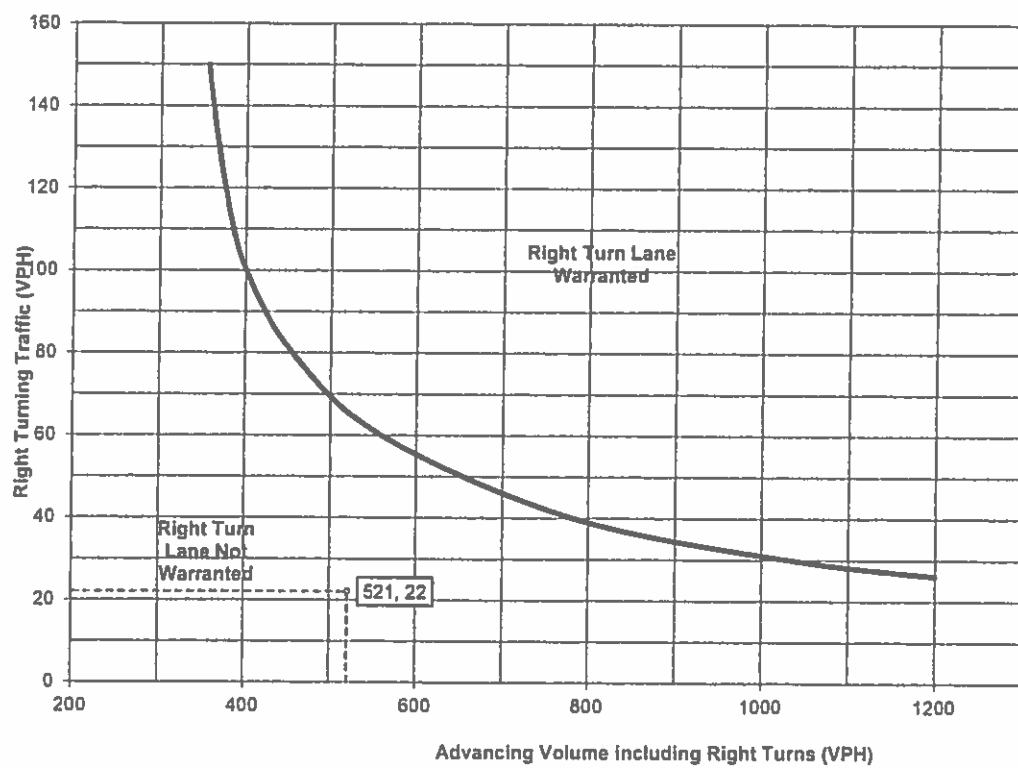
Right Turn Lane Storage Length, Condition A: **N/A** Feet
Condition B: **N/A** Feet
Condition C: **N/A** Feet
Required Right Turn Lane Storage Length: **N/A** Feet

Additional Findings:

Additional Comments / Justifications:

N/A





Figure 9. Warrant for right turn lanes on two-lane roadways
(40 mph or lower speeds, unsignalized and signalized intersections)





January 2021



Sun	Mon	Tue	Wed	Thu	Fri	Sat
					1 	2
3	4 Council 7 PM	5 Authority 4 PM	6	7	8 OFFICE CLOSED	9
10	11 Public Works 6:30 PM Christmas Tree Collection 	12 Christmas Tree Collection 	13 Plan. Com 7 PM Christmas Tree Collection 	14	15	16
17	18	19 Authority 4 PM	20	21	22	23
24	24 Civil Service Comm 5:30 PM (as needed) Public Safety 6:30 PM	26	27 ZHB 7 PM	28 Admin / Finance 6:30 PM	29	30
31						